



Jeff Dadisman

PERMIT DRAWINGS



Timothy Ward

MURPHEY CANDLER TRAIL - SOUTH

SITE DEVELOPMENT PLAN

PREPARED FOR: CITY OF BROOKHAVEN

DESIGNER GSWCC LEVEL II I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



Asato Masuyama Level II Certified Design Professional

PRIMARY PERMITTEE / OWNER CONTACT: BRIAN BORDEN CITY OF BROOKHAVEN 3360 OSBORNE ROAD BROOKHAVEN, GA 30319 PHONE: 404.637.0562



Aronda Smith



Joe Burge

DO NOT BEGIN CONSTRUCTION before the on-site pre-construction meeting with the City Land Development Inspector. Schedule through the Project Portal: https://cityworks.brookhavenga.gov/ProjectPortal



THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT, REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED. AND ANY IMPROVEMENT BE SUBJECT TO LEGAL ACTION.



SHEET INDEX

Table with 2 columns: Sheet Number, Sheet Title. Lists drawings from C0.00 to C4.03.

Table with 2 columns: Drawing Number, Drawing Title. Lists structural drawings from S0.01 to P1.

The City of Brookhaven does not certify the accuracy of these drawings. In approving these drawings and specifications, the City has relied upon the accuracy of the information and representations furnished herein by the engineer, or architect, and/or applicant. The City of Brookhaven assumes no liability or responsibility for the accuracy of the representations provided.

OWNERS

CITY OF BROOKHAVEN 4362 PEACHTREE RD. BROOKHAVEN, GA 30319 CONTACT: KAREN OWENS 404.637.0500

SITE INFORMATION

- PROPERTY ADDRESS: 1551 WEST NANCY CREEK DRIVE, ATLANTA, GA 30319
PARCEL ID : 18 326 01 041
ZONING CLASS: R-100
TOTAL SITE AREA: ± 1,602,679 SF (± 36.7924 AC.)
TOTAL SITE PROPOSED IMPERVIOUS AREA: ± 16,656 SF (0.38 AC.)
PERCENTAGE OF SITE PROPOSED IMPERVIOUS: ± 0.01% IMPERVIOUS
TOTAL DISTURBED AREA: ± 131,656 (± 3.02 AC.)
TOTAL DISTURBED IMPERVIOUS AREA: ± 0.38 ACRES
PERCENTAGE OF DISTURBED IMPERVIOUS: ± 12.6% IMPERVIOUS

DEVELOPER

CITY OF BROOKHAVEN PARKS AND RECREATION DEPARTMENT 3360 OSBORNE ROAD, NE BROOKHAVEN, GA 30319 CONTACT: KAREN OWENS, DIRECTOR 404.637.0500

DEKALB COUNTY LDP AP# 3115931 CITY OF BROOKHAVEN FILE # LDP22-00012

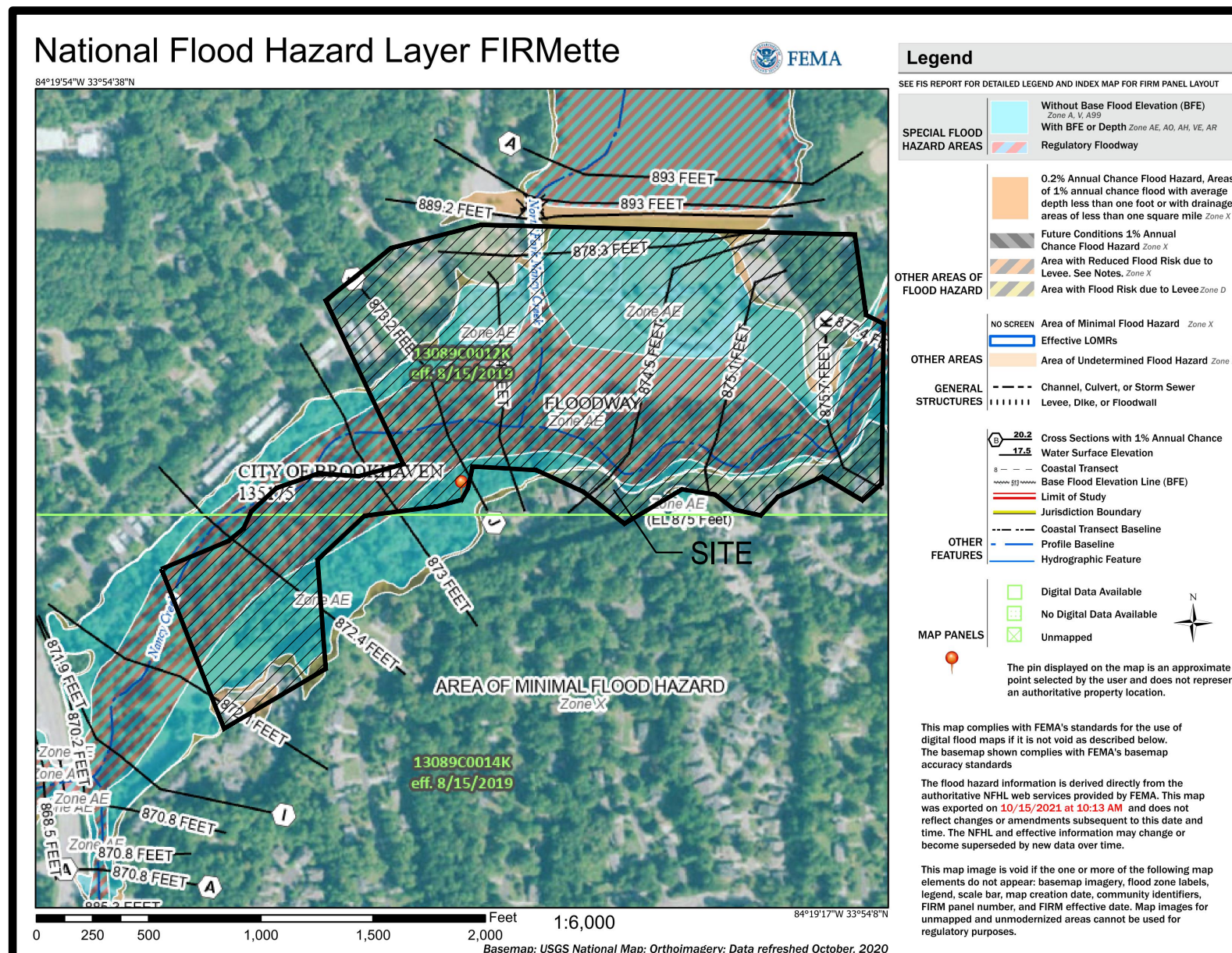
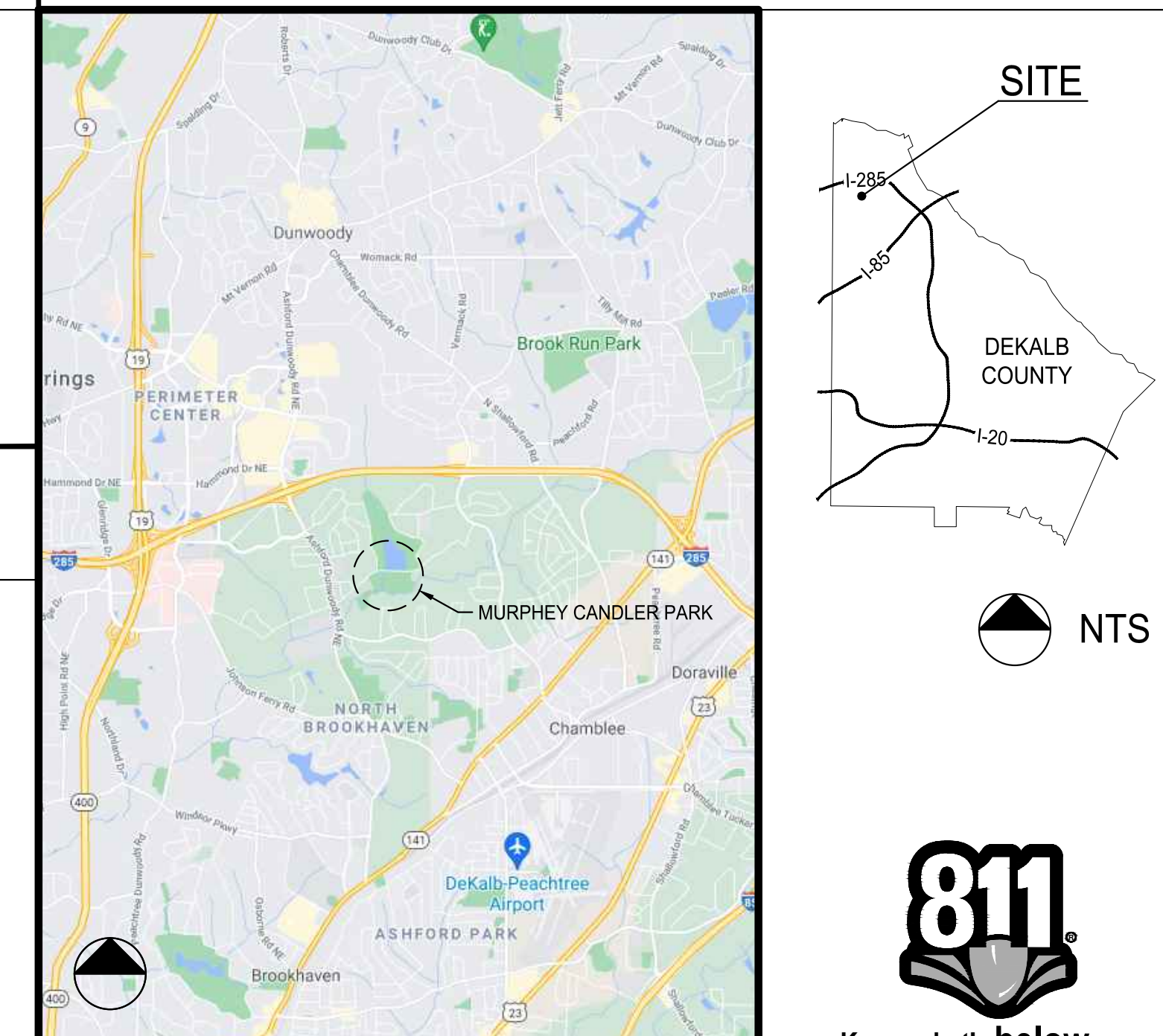
PROJECT SCOPE OF WORK: THE CITY OF BROOKHAVEN WISHES TO DEVELOP A TRAIL CONNECTION AND BRIDGE AT MURPHEY CANDLER PARK. TRAILS WILL CONNECT AT TWO POINTS IN THE BASEBALL AREA, CONVERGE INTO ONE TRAIL AND CROSS NANCY CREEK WITH A PRE-ENGINEERED BRIDGE STRUCTURE.

DESIGNER

LOSE DESIGN LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL ENGINEERING/PLANNING

220 WEST CROGAN STREET, SUITE 100 LAWRENCEVILLE, GEORGIA 30046 PHONE: 770-338-0017 CONTACT: AARON ST. PIERRE

LOCATION MAP



- CITY OF BROOKHAVEN FLOODPLAIN NOTES: 1. THE FLOOD ZONE AE SHOWN HEREON ARE BASED ON THE DEKALB COUNTY COMMUNITY PANELS (FIRM 13089C0014K). 2. THE BASE FLOOD (IRF) ELEVATIONS SHOWN HEREON ARE BASED ON THE FLOOD ELEVATION STUDY BY LOSE DESIGN. 3. ALL CONSTRUCTION INCLUDING GRADING AND FILLING WITHIN THE FLOODPLAIN SHOWN HEREON SHALL BE IN CONFORMANCE WITH THE BROOKHAVEN FLOODPLAIN ORDINANCE. 4. ALL CUT AND FILL WITHIN THE FLOODPLAIN SHALL BE FIELD VERIFIED AND CERTIFIED BY A PROFESSIONAL ENGINEER. 5. ALL INTERMEDIATE REGIONAL FLOODPLAIN SHALL BE FIELD LOCATED AND STAKED PRIOR TO ENCROACHMENT WITHIN THEM. SUCH LOCATION SHALL BE MAINTAINED CLEAR AND VISIBLE THROUGHOUT CONSTRUCTION AND FINAL APPROVAL. 6. WHEN UTILITY (STORM DRAINS, SEWER, ETC.) CONSTRUCTION IS WITHIN A FLOODPLAIN: A. THE CONTRACTOR SHALL RESTORE THE FLOODPLAIN TO THE ORIGINAL CONDITION AND GRADE IMMEDIATELY UPON COMPLETION. B. UPON COMPLETION OF RESTORATION, A PROFESSIONAL ENGINEER SHALL CERTIFY IN WRITING TO THE COMMUNITY DEVELOPMENT DEPARTMENT THAT ALL WORK IS COMPLETE AND THE FLOODPLAIN RESTORED. 7. WHEN ANY CONSTRUCTION BORDERS A FLOODPLAIN: A. THE CONTRACTOR SHALL RESTORE THE FLOODPLAIN TO THE ORIGINAL CONDITION AND GRADE IMMEDIATELY UPON COMPLETION. B. UPON COMPLETION OF RESTORATION, A PROFESSIONAL ENGINEER SHALL CERTIFY IN WRITING TO THE COMMUNITY DEVELOPMENT DEPARTMENT THAT ALL WORK IS COMPLETE AND THE FLOODPLAIN RESTORED. 8. THE LOWEST FLOOR ELEVATION INCLUDES BASEMENT AND ATTACHED GARAGE AND SHALL BE A MINIMUM OF 3 FEET ABOVE THE 100 YEAR STORM ELEVATION.

CONSULTANTS

SURVEYOR TERRA MARK LAND SURVEYING, INC. 1396 BELLS FERRY ROAD MARIETTA, GEORGIA 30066 PHONE: 770-421-1927

STRUCTURAL ENGINEER EMC STRUCTURAL ENGINEER, PC 4525 TROUSDALE DR. NASHVILLE, TENNESSEE 37204 PHONE: 615-781-8199

MURPHEY CANDLER TRAIL - SOUTH SITE DEVELOPMENT PLAN

Table with 3 columns: NO., DATE, DESCRIPTION. Lists permit revisions.

PERMIT DRAWINGS SHEET TITLE COVER

PROJECT NO. 21031 DATE 07/01/2022 DRAWN BY MTC SCALE N.T.S. CHECKED BY DMV SHEET NO.

C0.00 APPROVED PLAN 09/20/2023 Permit # LDP22-00012

SURVEY NOTES

EQUIPMENT USED:
A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.
A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

CLOSURE STATEMENT:
TRACT 1 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 897.870 FEET.
TRACT 2 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 239.751 FEET.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 31,741 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING SHOWN (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON AUGUST 17, 2016

DISCLAIMERS:

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.

THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING.

THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

AREA TABLE

TRACT 1 3,630,024 SQ.FT. OR 83.3339 AC.
TRACT 2 1,602,679 SQ.FT. OR 36.7924 AC.
TOTAL AREA 5,232,703 SQ.FT. OR 120.1263 AC.

TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (PANEL NUMBERS 13089C0012J & 13089C0014J), DATED MAY 16, 2013; A PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.

SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF WEST NANCY CREEK DRIVE, CANDLER LAKE WEST & CANDLER LAKE EAST.

TRACT 1 PROPERTY DESCRIPTION

Being a tract or parcel of land lying and being in Land Lots 326 & 331, 18th District, DeKalb County, Georgia and being more particularly described as follows:

To find the Point of Beginning, commence at a 1/2 rebar capped rebar set representing the intersection of the extension of right of lines of the West Right of Way Line of Candler Lake Circle East (having an apparent 60 feet wide right of way) and the North Right of Way Line of West Nancy Creek Drive (having an apparent 100 feet wide right of way), said right of way lines being shown on a plat of subdivision entitled "Candler Lake Estates, Unit One" and recorded among the Land Records of DeKalb County, Georgia in Plat Book 45, Page 14; thence, leaving the said point and running, 26.38 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 47° 01' 01" West, 26.37 feet to a 1/2 inch capped rebar set at the True Point of Beginning of the herein described tract or parcel of land; thence leaving the said Point of Beginning and running with the said line of West Nancy Creek Drive

- 380.40 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 70° 01' 15" West, 37.53 feet to a 1/2 inch capped rebar set; thence,
- North 88° 28' 01" West, 1,159.48 feet to a 1/2 inch capped rebar set; thence,
- 146.08 feet along the arc of a curve deflecting to the left, having a radius of 622.95 feet and a chord bearing and distance of South 84° 48' 59" West, 145.72 feet to a 1/2 inch capped rebar set at the intersection of aforesaid West Nancy Creek Drive and the East Right of Way Line of Candler Lake Circle West (having an apparent variable width right of way); thence, running with the said line of Candler Lake Circle West,
- 212.67 feet along the arc of a curve deflecting to the right, having a radius of 773.40 feet and a chord bearing and distance of North 01° 17' 06" East, 212.00 feet to a 1/2 inch capped rebar set; thence,
- North 09° 05' 45" East, 20.00 feet to a 1/2 inch capped rebar set; thence,
- North 24° 06' 45" East, 46.16 feet to a 1/2 inch capped rebar set; thence,
- 408.95 feet along the arc of a curve deflecting to the left, having a radius of 539.87 feet and a chord bearing and distance of North 13° 35' 38" West, 399.24 feet; thence,
- North 35° 18' 01" West, 28.88 feet; thence,
- 435.41 feet along the arc of a curve deflecting to the right, having a radius of 686.20 feet and a chord bearing and distance of North 17° 07' 22" West, 423.14 feet; thence,
- North 01° 03' 18" East, 191.24 feet; thence,
- 523.76 feet along the arc of a curve deflecting to the left, having a radius of 1,794.83 feet and a chord bearing and distance of North 07° 18' 19" West, 521.93 feet; thence,
- North 15° 39' 56" West, 1,182.85 feet to a 1/2 inch capped rebar set; thence, leaving the said line of Candler Lake Circle West and running with the South Right of Way Line of an undeveloped City Street (having an apparent 60 feet right of way) as shown on a plat of subdivision entitled "Ashwoody" and recorded among the aforesaid Land Records in Plat Book 45, Page 35
- 215.29 feet along the arc of a curve deflecting to the right, having a radius of 162.68 feet and a chord bearing and distance of North 40° 23' 23" East, 199.92 feet; thence,
- North 78° 09' 13" East, 99.33 feet; thence,
- 109.79 feet along the arc of a curve deflecting to the right, having a radius of 170.80 feet and a chord bearing and distance of South 76° 39' 12" East, 107.91 feet; thence,
- South 58° 15' 31" East, 39.59 feet; thence,
- 171.51 feet along the arc of a curve deflecting to the right, having a radius of 855.60 feet and a chord bearing and distance of South 52° 34' 06" East, 173.23 feet; thence,
- South 46° 48' 38" East, 109.84 feet; thence,
- 150.99 feet along the arc of a curve deflecting to the right, having a radius of 1,060.00 feet and a chord bearing and distance of South 42° 42' 47" East, 150.86 feet; thence,
- South 38° 37' 57" East, 185.42 feet to a 1/2 inch capped rebar set; thence,
- South 27° 52' 26" East, 267.38 feet; thence,
- 134.69 feet along the arc of a curve deflecting to the right, having a radius of 3,888.00 feet and a chord bearing and distance of South 26° 52' 53" East, 134.68 feet to a 1/2 inch capped rebar set; thence,
- South 25° 53' 21" East, 89.96 feet to a 1/2 inch capped rebar set on the developed West Right of Way Line of Candler Lake Circle East (having an apparent 60 feet wide right of way) as shown on a plat of subdivision entitled "Candler Lake View" and recorded among the aforesaid Land Records in Plat Book 58, Page 161; thence, running with the said line of Candler Lake Circle East
- 87.43 feet along the arc of a curve deflecting to the right, having a radius of 476.00 feet and a chord bearing and distance of South 21° 03' 58" East, 87.31 feet; thence,
- South 17° 19' 19" East, 233.10 feet; thence,
- 576.41 feet along the arc of a curve deflecting to the left, having a radius of 750.28 feet and a chord bearing and distance of South 39° 19' 51" East, 562.34 feet; thence,
- South 61° 20' 23" East, 277.04 feet; thence,
- 372.07 feet along the arc of a curve deflecting to the left, having a radius of 709.22 feet and a chord bearing and distance of South 70° 22' 09" East, 367.82 feet; thence,
- North 88° 36' 05" East, 106.79 feet; thence,
- 428.21 feet along the arc of a curve deflecting to the right, having a radius of 186.63 feet and a chord bearing and distance of South 25° 36' 38" East, 340.13 feet; thence,
- South 40° 10' 30" West, 291.39 feet; thence,
- 397.43 feet along the arc of a curve deflecting to the left, having a radius of 312.01 feet and a chord bearing and distance of South 03° 41' 11" West, 371.10 feet to a 1/2 inch capped rebar set; thence,
- South 32° 48' 16" East, 104.23 feet to a 1/2 inch capped rebar set; thence,
- South 33° 54' 42" East, 127.33 feet to a 1/2 inch capped rebar set; thence,
- 43.16 feet along the arc of a curve deflecting to the right, having a radius of 30.00 feet and a chord bearing and distance of South 07° 17' 54" West, 39.53 feet to the Point of Beginning, containing 3,630,024 square feet or 83.3339 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unrecorded.

BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (MURPHEY CANDLER PARK) LOCATED IN LAND LOTS 326, 327 & 331, 18TH DISTRICT DEKALB COUNTY, GEORGIA

SITE MAP



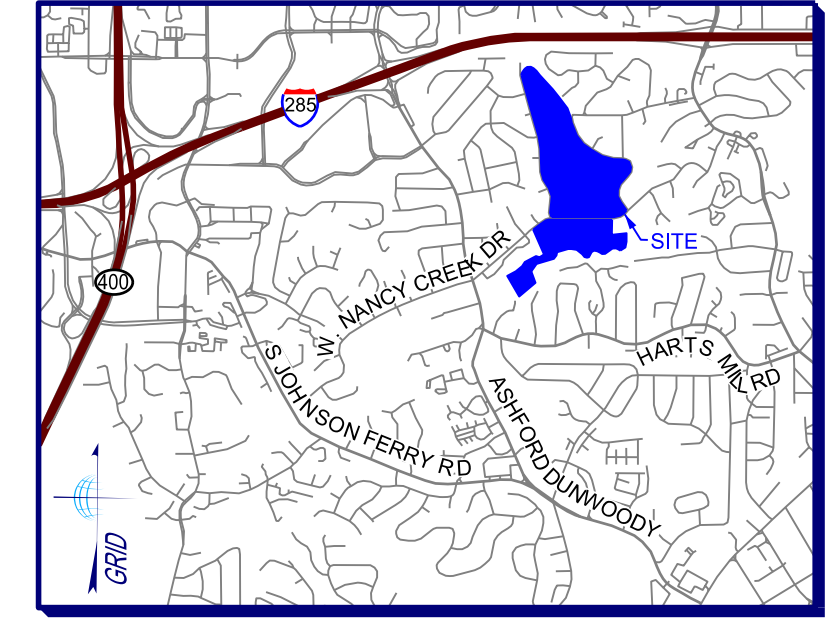
TRACT 2 PROPERTY DESCRIPTION

Being a tract or parcel of land lying and being in Land Lots 326 & 327, 18th District, DeKalb County, Georgia and being more particularly described as follows:

To find the Point of Beginning, commence at a 1/2 rebar capped rebar set representing the intersection of the extension of right of lines of the West Right of Way Line of Candler Lake Circle East (having an apparent 60 feet wide right of way) and the North Right of Way Line of West Nancy Creek Drive (having an apparent 100 feet wide right of way), said right of way lines being shown on a plat of subdivision entitled "Candler Lake Estates, Unit One" and recorded among the Land Records of DeKalb County, Georgia in Plat Book 45, Page 14; thence, leaving the said point and running, 26.38 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 47° 01' 01" West, 26.37 feet to a 1/2 inch capped rebar set; thence, running with the said line of West Nancy Creek Drive, 380.40 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 70° 01' 15" West, 37.53 feet to a 1/2 inch capped rebar set; thence, leaving said line of West Nancy Creek Drive and running across West Nancy Creek Drive, South 01° 31' 59" West, 100.00 feet to a 1/2 inch capped rebar set on the South Right of Way Line of said West Nancy Creek Drive, said point being the True Point of Beginning of the herein described tract or parcel of land; thence leaving the said Point of Beginning and the said line of West Nancy Creek Drive and running with Lots 1 & 2 of said Candler Lake Estates

- South 07° 53' 34" East, 251.24 feet to a 1/2 inch rebar found; thence,
- South 63° 13' 35" East, 114.76 feet to a 1/2 inch rebar found; thence,
- South 63° 13' 35" East, 90.56 feet to the centerline of Nancy Creek; thence, running with the said centerline of Nancy Creek
- South 16° 56' 38" West, 42.41 feet; thence,
- South 18° 32' 17" West, 29.92 feet; thence,
- South 20° 58' 38" West, 35.31 feet; thence,
- South 04° 30' 15" West, 35.95 feet; thence,
- South 22° 41' 01" West, 38.11 feet; thence,
- South 21° 49' 30" West, 30.85 feet; thence,
- South 24° 10' 56" West, 88.61 feet; thence,
- South 17° 16' 24" West, 60.36 feet; thence,
- South 04° 30' 25" West, 31.46 feet; thence,
- South 16° 16' 46" West, 80.59 feet; thence,
- South 49° 29' 49" West, 73.16 feet; thence,
- South 52° 54' 36" West, 59.22 feet; thence,
- North 54° 48' 17" West, 47.01 feet; thence,
- South 04° 14' 38" West, 38.71 feet; thence,
- South 64° 54' 47" West, 80.80 feet; thence,
- South 65° 18' 02" West, 58.49 feet; thence,
- South 43° 02' 26" West, 79.56 feet; thence,
- North 84° 06' 37" West, 49.03 feet; thence,
- South 19° 45' 18" West, 30.31 feet; thence,
- North 47° 28' 51" West, 29.90 feet; thence,
- North 19° 33' 50" West, 13.84 feet; thence,
- South 49° 25' 28" West, 40.08 feet; thence,
- North 87° 08' 50" West, 35.40 feet; thence,
- North 85° 17' 50" West, 23.34 feet; thence,
- South 85° 18' 49" West, 50.88 feet; thence,
- North 65° 43' 09" West, 53.32 feet; thence,
- South 59° 20' 38" West, 103.26 feet; thence,
- North 64° 57' 35" West, 56.95 feet; thence,
- North 39° 36' 17" West, 33.84 feet; thence,
- South 59° 21' 24" West, 12.23 feet; thence,
- North 44° 39' 48" West, 60.27 feet; thence,
- North 63° 17' 35" West, 65.38 feet; thence,
- South 82° 04' 20" West, 28.31 feet; thence,
- North 67° 33' 36" West, 67.19 feet; thence,
- North 82° 19' 41" West, 51.10 feet; thence,
- North 85° 21' 00" West, 42.42 feet; thence,
- North 89° 46' 50" West, 32.85 feet; thence,
- South 47° 02' 10" West, 199.78 feet to a 1/2 inch rebar found; thence, running with the West Line of said Lot 7
- South 04° 11' 57" East, 218.85 feet to a 1/2 inch rebar found at the Northwest Corner of Lot 8 of said Ashford Glen, Unit IV; thence, running with the West Line of Lot 8
- South 04° 16' 01" East, 121.17 feet to an axle found at the rear angle point of Lot 14, Block A of a subdivision entitled "Fox Glen" and recorded among the aforesaid Land Records in Plat Book 46, Page 87; thence, running with northwesterly lines of the said Fox Glen subdivision
- South 59° 14' 40" West, 139.41 feet to a 1/2 inch rebar found at the common corner of Lot 14 and Lot 15; thence, continuing
- South 59° 43' 56" West, 226.48 feet to a 1/2 inch rebar found (disturbed); thence, running with the property now or formerly owned by the Ashford Lake Condominium Association and as shown on a Condominium Plat recorded among the aforesaid Land Records in Condo Plat 6, Page 9
- North 21° 20' 40" West, 531.83 feet to the centerline of Nancy Creek; thence, running with the said centerline of Nancy Creek
- North 71° 54' 28" East, 7.91 feet; thence,
- North 68° 19' 18" East, 82.67 feet; thence,
- North 64° 36' 33" East, 53.19 feet; thence,
- North 75° 47' 51" East, 43.73 feet; thence,
- North 62° 37' 49" East, 37.34 feet; thence,
- North 57° 08' 00" East, 40.21 feet; thence,
- North 37° 54' 19" East, 43.48 feet; thence,
- North 17° 22' 00" East, 38.87 feet; thence,
- North 41° 58' 49" East, 36.16 feet; thence,
- North 49° 59' 25" East, 71.28 feet; thence,
- North 69° 07' 51" East, 58.11 feet; thence,
- North 70° 12' 41" East, 44.21 feet; thence,
- North 75° 17' 14" East, 36.76 feet; thence,
- South 81° 48' 34" East, 46.21 feet; thence,
- South 88° 02' 59" East, 75.21 feet; thence,
- North 71° 58' 41" East, 16.87 feet; thence,
- North 88° 16' 49" East, 17.50 feet; thence,
- North 78° 06' 07" East, 38.74 feet; thence,
- North 79° 38' 04" East, 19.32 feet; thence,
- North 67° 27' 55" East, 52.14 feet; thence, leaving the centerline of Nancy Creek and running with the property now or formerly owned by the Ashford Place Condominium Association as described in a deed recorded among the aforesaid Land Records in Deed Book 3529, Page 379
- North 25° 16' 40" West, 37.04 feet; thence,
- North 25° 16' 40" West, 525.00 feet to a 1/2 inch rebar found on the aforesaid South Line of West Nancy Creek Drive; thence, running with the said line of West Nancy Creek Drive
- North 49° 33' 44" East, 170.58 feet; thence,
- 382.39 feet along the arc of a curve deflecting to the right, having a radius of 522.95 feet and a chord bearing and distance of North 70° 35' 08" East, 373.93 feet to a 1/2 inch capped rebar set; thence,
- South 88° 28' 01" East, 1,159.48 feet to the Point of Beginning, containing 1,602,679 square feet or 36.7924 acres of land, more or less.

Property is subject to all easements and rights of way recorded and unrecorded.



LOCATION MAP

NOT TO SCALE
LAT - 33°54'34.29"N
LONG - 84°19'34.42"W

BENCHMARK 1 BENCHMARK 2 DETAIL



UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC.
154 GRANT ROAD
FAYETTEVILLE, GA. 30215
PHONE: 404-312-6912

ATTENTION: HANS WANNENBERGER

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC. UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL "B" UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED, UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

UTILITY PROVIDERS

GAS

ATLANTA GAS LIGHT COMPANY AGL
10 PEACHTREE STREET NE
ATLANTA, GA 30309
MARTIN MAREK
(404) 584-4126

POWER

GEORGIA POWER COMPANY
823 JEFFERSON STREET
ATLANTA, GA 30318
(404) 596-4969
IKE COLLINS

WATER

DEKALB COUNTY WATER
AND SEWER DEPARTMENT
1580 ROADHAVEN DR.
STONE MOUNTAIN, GA. 30083
(770) 612-7222
JEFF WOODS
(770) 744-1460
JDWOODS@DEKALBCOUNTYGA.GOV

COMMUNICATION

AT&T
208 S. AKARD ST.
DALLAS, TX 75202
(210) 821-4105
ANGELO HINES
(478) 784-3972

LEVEL 3 COMMUNICATIONS, INC
1025 ELDORADO BOULEVARD
BROOMFIELD, CO 80021
(877) 368-8344 EXT. 3

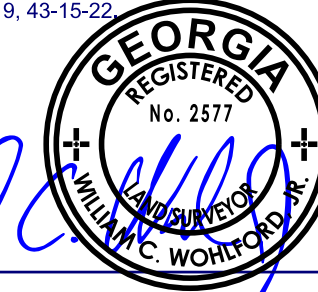
COMCAST
(770) 599-6979
SANDRA ANDREWS
LEVEL 3 COMMUNICATIONS, INC
1025 ELDORADO BOULEVARD
BROOMFIELD, CO 80021
(877) 368-8344 EXT. 3

VERIZON / MCI
2400 N GLENVILLE
RICHARDSON, TX 75082
(972) 471-1042
DENNIS RAINY
CENTURYLINK
100 CENTURYLINK DRIVE
MONROE, LA 71203
(888) 723-8010

ZAYO FIBER SOLUTIONS
400 CENTENNIAL PKWY, SUITE 200
LOUISVILLE, CO 80027
(878) 686-2463
NIC FLORES

SURVEYOR'S CERTIFICATE

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA SURVEY ACT O.C.G.A. 15-6-67, AUTHORITY O.C.G.A. SECS. 15-6-67, 43-15-4, 43-15-6, 43-15-19, 43-15-21.



WILLIAM C. WOHLFORD, JR., RLS
REGISTERED NUMBER: 2577

BOUNDARY AND TOPOGRAPHIC SURVEY
FOR
THE CITY OF BROOKHAVEN
(MURPHEY CANDLER PARK)
LOCATED IN
LAND LOTS 326, 327 & 331, 18TH DISTRICT
DEKALB COUNTY, GEORGIA

SHEET NO.

1/13

DRAWING# TM 18 097

SITE INFORMATION

CURRENT OWNER: CITY OF BROOKHAVEN
DB, 24965 PG. 50

TAX PARCEL ID # 18 331 01 005 & 18 326 01 041

ADDRESS: 1551 WEST NANCY CREEK DRIVE
ZONING: R-100 (MULTI FAMILY RESIDENTIAL)
JURISDICTION: CITY OF BROOKHAVEN

SETBACKS: FRONT 35'
SIDE, 20' (UNLESS ADJOINER IS ANY R LOT THEN 50')
REAR 40' (UNLESS ADJOINER IS ANY R LOT THEN 50')

PARKING COUNT:

REGULAR PARKING - 228
HANDICAPPED PARKING - 5
TOTAL PARKING COUNT - 233

REFERENCE MATERIAL

- PLAT FOR CANDLER LAKE ESTATES, UNIT ONE
RECORDED IN PB. 45 PG. 14
AMONG THE LAND RECORDS OF DEKALB COUNTY
- PLAT FOR ASHWOODY SUBDIVISION
RECORDED IN PB. 45 PG. 35
AFORSAID RECORDS
- PLAT FOR CANDLER LAKE VIEW SUBDIVISION
RECORDED IN PB. 58 PG. 161
AFORSAID RECORDS
- FINAL PLAT FOR ASHFORD GLEN, UNIT 4
RECORDED IN PB. 44 PG. 29
AFORSAID RECORDS
- PLAT FOR FOX GLEN SUBDIVISION
RECORDED IN PB. 46 PG. 87
AFORSAID RECORDS
- CONDOMINIUM PLAT FOR ASHFORD LAKE CONDOMINIUM ASSOCIATION
RECORDED IN PB. 6 PG. 9
AFORSAID RECORDS
- DEED FOR ASHFORD PLACE CONDOMINIUM ASSOCIATION
RECORDED IN DB. 3529 PG. 379
AFORSAID RECORDS



PHOTO #1



PHOTO #2

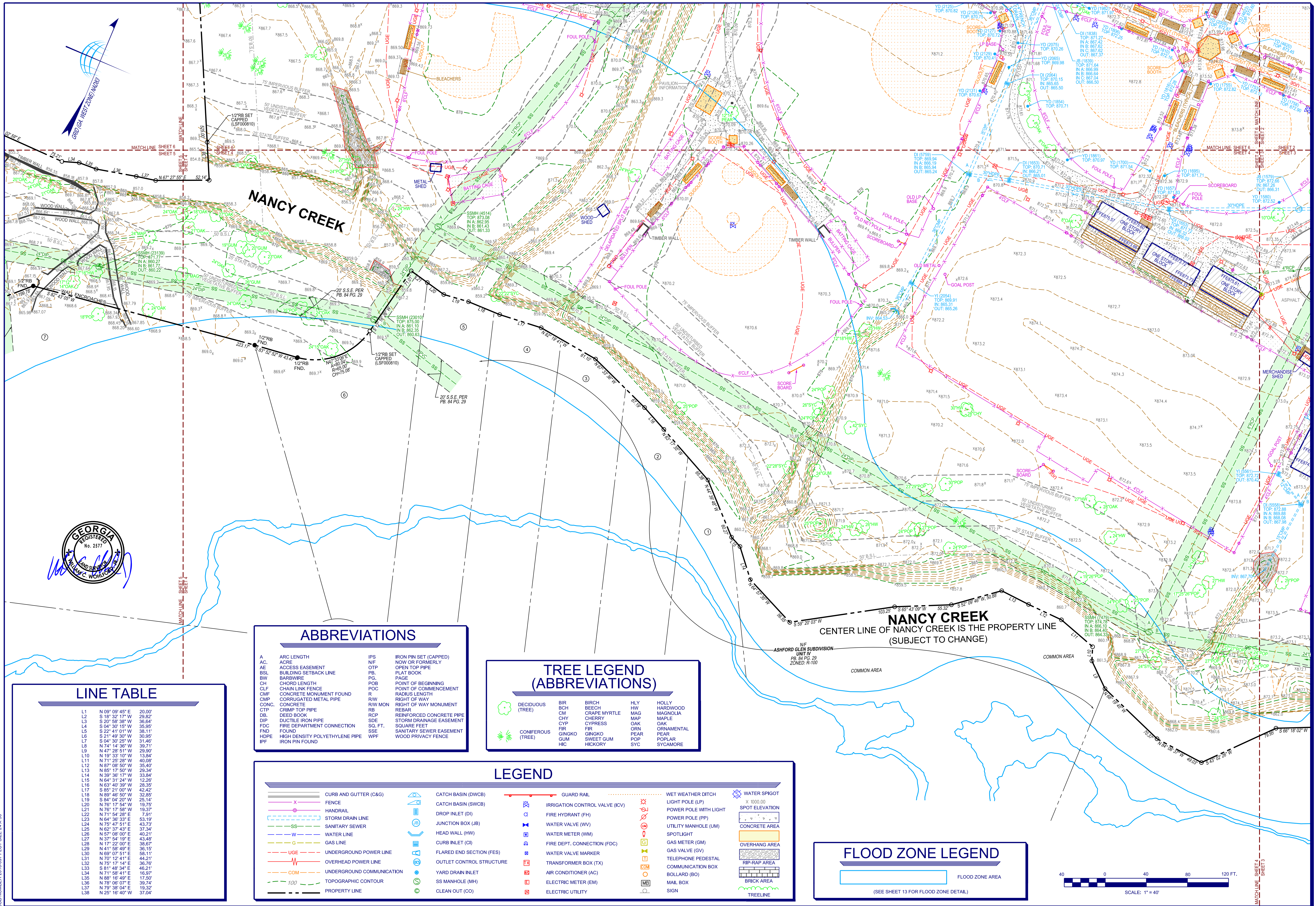


PHOTO #3



PHOTO #4





LINE TABLE

L1	N 09° 09' 45" E	20.00'
L2	S 18° 32' 17" W	28.82'
L3	S 20° 58' 38" W	36.64'
L4	S 04° 30' 15" W	35.95'
L5	S 22° 41' 01" W	38.11'
L6	S 21° 49' 30" W	30.95'
L7	S 04° 30' 25" W	31.46'
L8	N 74° 14' 36" W	35.71'
L9	N 47° 28' 51" W	29.90'
L10	N 19° 33' 10" W	13.84'
L11	N 71° 28' 28" W	40.08'
L12	N 87° 08' 50" W	35.40'
L13	N 85° 17' 50" W	25.34'
L14	N 39° 36' 17" W	33.84'
L15	N 64° 31' 24" W	12.26'
L16	N 63° 40' 39" W	28.35'
L17	S 85° 21' 00" W	42.42'
L18	N 89° 48' 50" W	32.85'
L19	S 84° 04' 20" W	25.14'
L20	N 76° 17' 54" W	19.75'
L21	N 76° 17' 54" W	19.37'
L22	N 71° 54' 28" E	7.91'
L23	N 64° 36' 33" E	53.19'
L24	N 75° 47' 51" W	43.73'
L25	N 62° 37' 43" E	37.34'
L26	N 57° 08' 00" E	40.21'
L27	N 37° 54' 19" E	43.48'
L28	N 17° 22' 00" E	38.67'
L29	N 41° 58' 49" E	36.15'
L30	N 89° 07' 51" E	68.11'
L31	N 70° 12' 41" E	44.21'
L32	N 75° 17' 14" W	46.70'
L33	S 81° 48' 34" E	36.70'
L34	N 71° 58' 41" E	16.97'
L35	N 86° 16' 49" E	17.50'
L36	N 78° 06' 07" E	39.74'
L37	N 79° 38' 04" E	19.32'
L38	N 25° 16' 40" W	37.04'

ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPPED)
AC	ACRE	NIF	NOW OR FORMERLY
AE	ACCESS EASEMENT	OTP	OPEN TOP PIPE
BSL	BUILDING SETBACK LINE	PB	PLAT BOOK
BW	BARB WIRE	PD	PAGE
CH	CHORD LENGTH	PGB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
CMF	CONCRETE MONUMENT FOUND	R	RADIUS LENGTH
CMP	CORRUGATED METAL PIPE	RW	RIGHT OF WAY
CONC.	CONCRETE	RW MON	RIGHT OF WAY MONUMENT
CTP	CRIMP TOP PIPE	RB	REBAR
DB	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SDE	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SQ. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		

TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR	BIRCH	HLY	HOLLY
	BCH	BEECH	HW	HARDWOOD
	CM	GRAPE MYRTLE	MAG	MAGNOLIA
	CHY	CHERRY	MAP	MAPLE
	CYP	CYPRESS	OAK	OAK
	FIR	FIR	ORN	ORNAMENTAL
	GNG	GINKGO	PEAR	PEAR
	GUM	SWEET GUM	POP	POPLAR
	HIC	HICKORY	SYC	SYCAMORE
CONIFEROUS (TREE)				

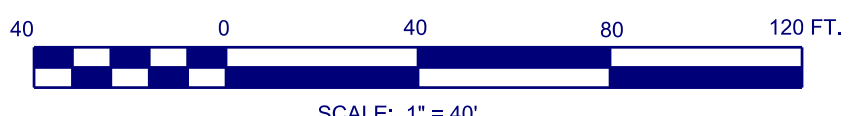
LEGEND

CURB AND GUTTER (C&G)	CATCH BASIN (DWCB)	GUARD RAIL	WET WEATHER DITCH	WATER SPIGOT
FENCE	CATCH BASIN (SWCB)	IRRIGATION CONTROL VALVE (ICV)	LIGHT POLE (LP)	X 1000.00
HANDRAIL	DROP INLET (DI)	FIRE HYDRANT (FH)	POWER POLE WITH LIGHT	SPOT ELEVATION
STORM DRAIN LINE	JUNCTION BOX (JB)	WATER VALVE (WV)	POWER POLE (PP)	CONCRETE AREA
SANITARY SEWER	HEAD WALL (HW)	WATER METER (WM)	UTILITY MANHOLE (UM)	OVERHANG AREA
WATER LINE	CURB INLET (CI)	FIRE DEPT. CONNECTION (FDC)	SPOTLIGHT	RIP-RAP AREA
GAS LINE	FLARED END SECTION (FES)	WATER VALVE MARKER	GAS METER (GM)	BRICK AREA
UNDERGROUND POWER LINE	OUTLET CONTROL STRUCTURE	TRANSFORMER BOX (TX)	GAS VALVE (GV)	TREELINE
OVERHEAD POWER LINE	YARD DRAIN INLET	AIR CONDITIONER (AC)	TELEPHONE PEDESTAL	
UNDERGROUND COMMUNICATION	SS MANHOLE (MH)	ELECTRIC METER (EM)	COMMUNICATION BOX	
TOPOGRAPHIC CONTOUR	CLEAN OUT (CO)	ELECTRIC UTILITY	BOLLARD (BO)	
PROPERTY LINE			MAIL BOX	
			SIGN	

FLOOD ZONE LEGEND

FLOOD ZONE AREA

(SEE SHEET 13 FOR FLOOD ZONE DETAIL)



BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (MURPHEY CANDLER PARK) LOCATED IN LAND LOTS 326, 327 & 331, 18TH DISTRICT DEKALB COUNTY, GEORGIA

SHEET NO. 4/13
DRAWING# TM 18 097

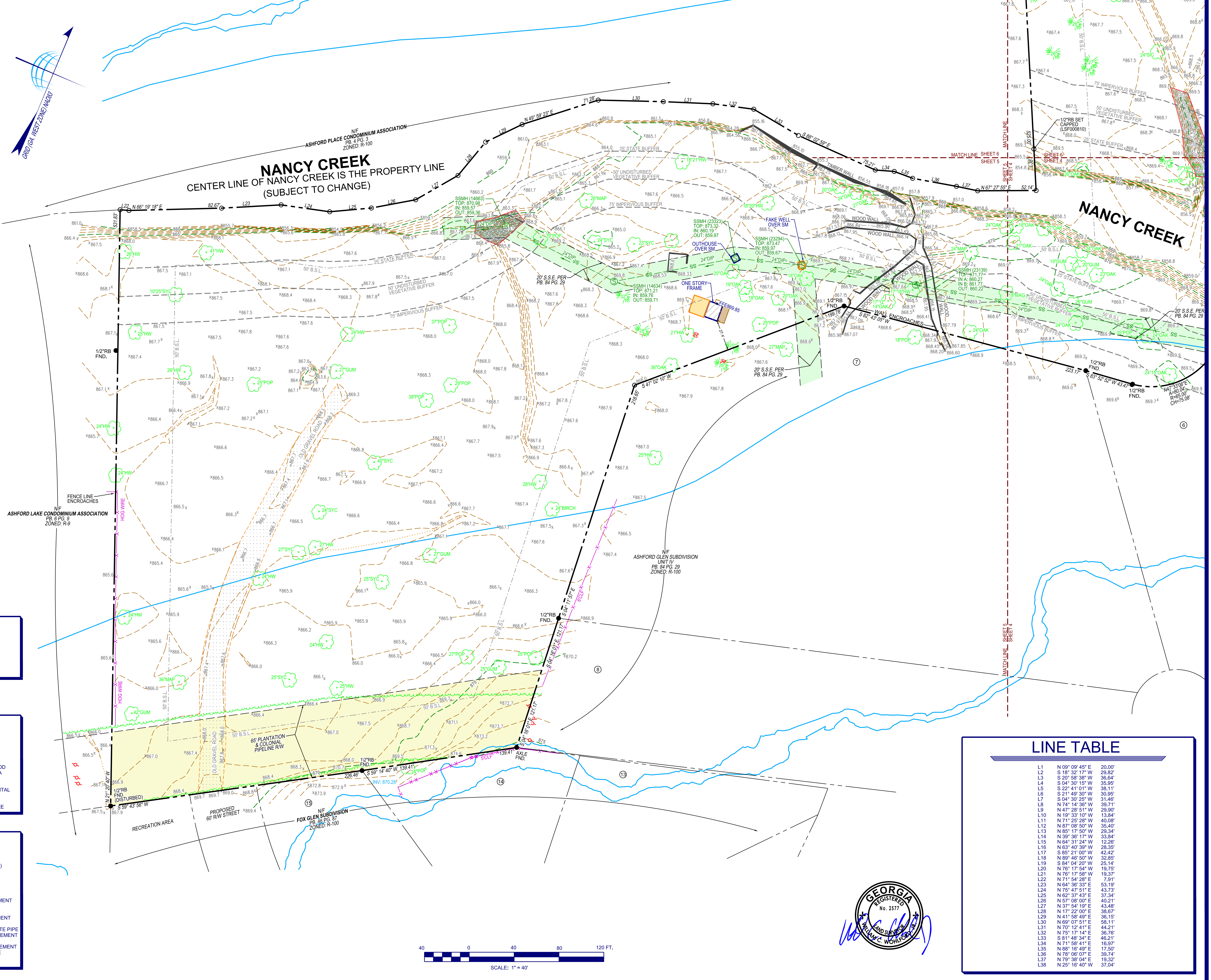
TerraMark
Professional Land Surveying, Inc.
1000 N. Peachtree St., Suite 3000
Atlanta, Georgia 30308
Phone No. (770) 421-1927
Fax No. (770) 421-0552
www.TerraMark.com
Professional Land Surveying C. O. A.#LSF00810

Date	Revision
2016/08/17	No. 1
2016/08/17	No. 2
2016/08/17	No. 3
2016/08/17	No. 4
2016/08/17	No. 5
2016/08/17	No. 6
2016/08/17	No. 7
2016/08/17	No. 8
2016/08/17	No. 9
2016/08/17	No. 10
2016/08/17	No. 11
2016/08/17	No. 12
2016/08/17	No. 13
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2016/08/17	No. 95
2016/08/17	No. 96
2016/08/17	No. 97
2016/08/17	No. 98
2016/08/17	No. 99
2016/08/17	No. 100

JOB NUMBER: 2016-097 FLOT SIZE: 24 X 36

LEGEND

- CURB AND GUTTER (C&G)
- FENCE
- HANDRAIL
- STORM DRAIN LINE
- SANITARY SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND POWER LINE
- OVERHEAD POWER LINE
- COMMUNICATION
- TOPOGRAPHIC CONTOUR
- PROPERTY LINE
- GUARD RAIL
- WET WEATHER DITCH
- WATER SPIGOT
- CATCH BASIN (DWCB)
- CATCH BASIN (SWCB)
- DROP INLET (DI)
- JUNCTION BOX (JB)
- HEAD WALL (HW)
- CURB INLET (CI)
- FLARED END SECTION (FES)
- OUTLET CONTROL STRUCTURE
- YARD DRAIN INLET
- SS MANHOLE (MH)
- CLEAN OUT (CO)
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT (FH)
- WATER VALVE (WV)
- WATER METER (WM)
- FIRE DEPT. CONNECTION (FDC)
- WATER VALVE MARKER
- TRANSFORMER BOX (TX)
- AIR CONDITIONER (AC)
- ELECTRIC METER (EM)
- ELECTRIC UTILITY
- LIGHT POLE (LP)
- POWER POLE WITH LIGHT
- POWER POLE (PP)
- UTILITY MANHOLE (UM)
- SPOTLIGHT
- GAS METER (GM)
- GAS VALVE (GV)
- TELEPHONE PEDESTAL
- COMMUNICATION BOX
- BOLLARD (BO)
- MAIL BOX
- SIGN
- SPOT ELEVATION
- CONCRETE AREA
- OVERHANG AREA
- RIP-RAP AREA
- BRICK AREA
- TREELINE



FLOOD ZONE LEGEND

FLOOD ZONE AREA

(SEE SHEET 13 FOR FLOOD ZONE DETAIL)

TREE LEGEND (ABBREVIATIONS)

DECIDUOUS (TREE)	BIR	BIRCH	HLY	HOLLY
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	FIR	CYRESS	OAK	OAK
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	HIC	GINGKO	PEAR	PEAR
		SWEET GUM	POP	POPLAR
		HICKORY	SYC	SYCAMORE

ABBREVIATIONS

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AC.	ACRE	NIF	NOW OR FORMERLY
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BSL	BUILDING SETBACK LINE	PB.	PLAT BOOK
BW	BARBWARE	PG.	PAGE
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CLF	CHAIN LINK FENCE	POC	POINT OF COMMENCEMENT
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DB.	DEED BOOK	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	SDE	STORM DRAINAGE EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	SO. FT.	SQUARE FEET
FND	FOUND	SSE	SANITARY SEWER EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WPF	WOOD PRIVACY FENCE
IPF	IRON PIN FOUND		

LINE TABLE

L1	N 09° 09' 45" E	20.00'
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L29	N 41° 58' 49" E	36.15'
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L31	N 70° 12' 41" E	44.21'
L32	N 75° 17' 14" E	36.76'
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L34	N 71° 58' 41" E	16.87'
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 Marietta, Georgia 30066
 Phone No. (770) 421-1927
 Fax No. (770) 421-0552
 www.TerraMark.com
 Professional Land Surveying C. O. #AFLS000810

Project No.	201616387	No.	1	Date
Survey Crew	VM, DW	#1		
Drawn By	NEC	#2		
Approved By	WCV	#3		
Date	08/22/16	#4		
Scale	1"=40'	#5		

BOUNDARY AND TOPOGRAPHIC SURVEY
 FOR
 THE CITY OF BROOKHAVEN
 (MURPHEY CANDLER PARK)
 LOCATED IN
 LAND LOTS 326, 327 & 331, 18TH DISTRICT
 DEKALB COUNTY, GEORGIA

SHEET NO.
 5 / 13
 DRAWING# TM 16 097

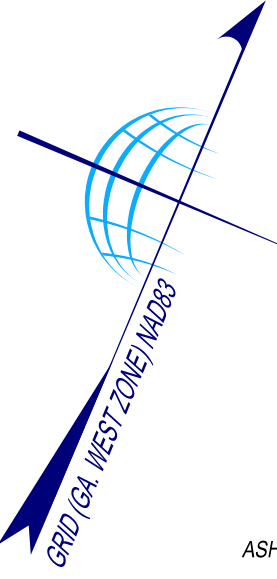
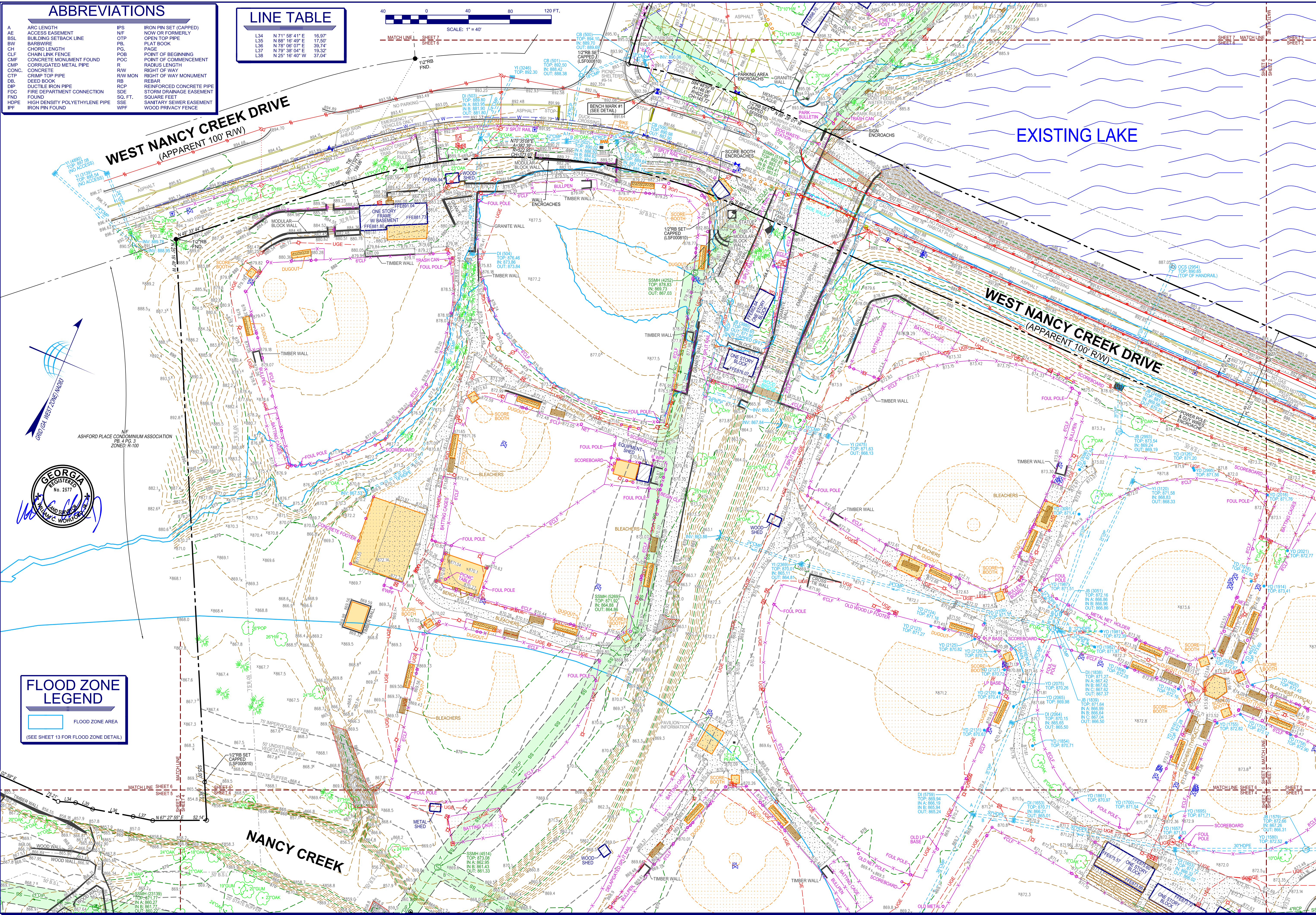
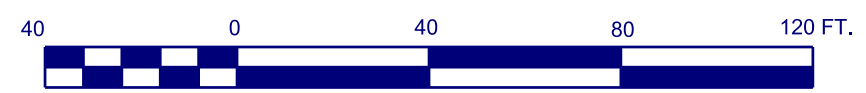
JOB NUMBER 2016-097 PLOT SIZE 24 X 36

ABBREVIATIONS

A	ARC LENGTH	IPS	IRON PIN SET (CAPED)
AE	ACCESS EASEMENT	NIF	NOW OR FORMERLY
BSL	BUILDING SETBACK LINE	OTF	OPEN TOP FORMER
BW	BARBWARE	PB	PLAT BOOK
CH	CHORD LENGTH	PG	PAGE
CLF	CHAIN LINK FENCE	POB	POINT OF BEGINNING
CMF	CONCRETE MONUMENT FOUND	POC	POINT OF COMMENCEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS LENGTH
CONC.	CONCRETE	R/W	RIGHT OF WAY
CTP	CRUMP TOP PIPE	R/W MON	RIGHT OF WAY MONUMENT
DB	DEED BOOK	RB	REBAR
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
FDC	FIRE DEPARTMENT CONNECTION	SZE	STORM DRAINAGE EASEMENT
FND	FOUND	SQ. FT.	SQUARE FEET
HDPE	HIGH DENSITY POLYETHYLENE PIPE	SSE	SANITARY SEWER EASEMENT
IPF	IRON PIN FOUND	WPF	WOOD PRIVACY FENCE

LINE TABLE

L34	N 71° 58' 41" E	16.97'
L35	N 88° 16' 49" E	17.50'
L36	N 78° 08' 07" E	39.74'
L37	N 79° 38' 04" E	19.32'
L38	N 25° 16' 40" W	37.04'



FLOOD ZONE LEGEND
 FLOOD ZONE AREA
 (SEE SHEET 13 FOR FLOOD ZONE DETAIL)

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 Atlanta, Georgia 30306
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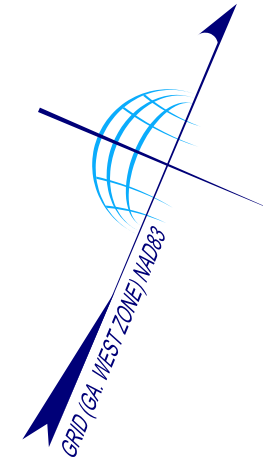
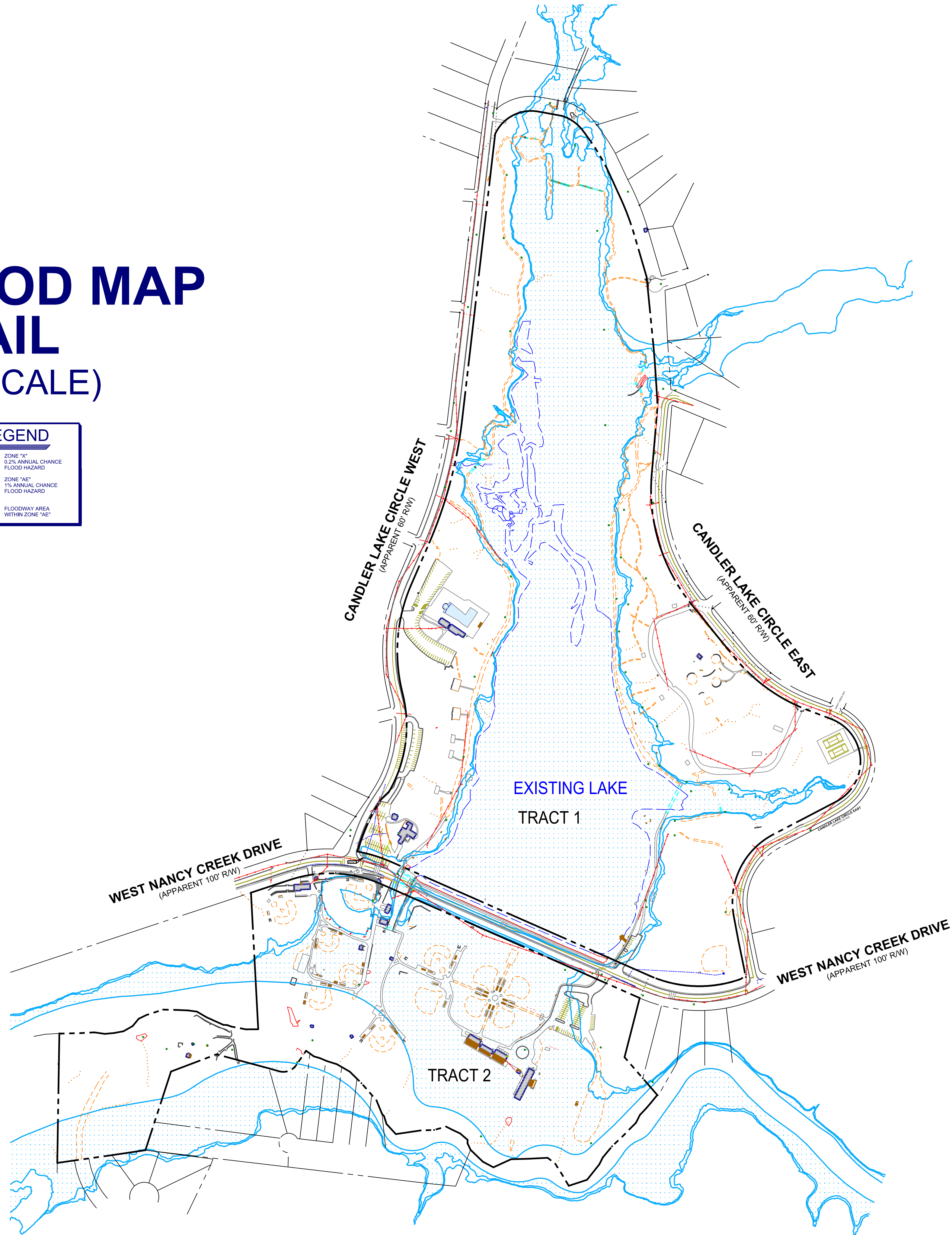
Project No.	No.	Date	Revision
20160287	#1		
	#2		
	#3		
	#4		
	#5		
	#6		
	#7		
	#8		
	#9		
	#10		

BOUNDARY AND TOPOGRAPHIC SURVEY FOR THE CITY OF BROOKHAVEN (MURPHEY CANDLER PARK) LOCATED IN LAND LOTS 326, 327 & 331, 18TH DISTRICT DEKALB COUNTY, GEORGIA

SHEET NO.
6
 13
 DRAWING# TM 18 097

FEMA FLOOD MAP DETAIL (NOT TO SCALE)

FLOOD ZONE LEGEND	
	ZONE "X" 0.2% ANNUAL CHANCE FLOOD HAZARD
	ZONE "AE" 1% ANNUAL CHANCE FLOOD HAZARD
	FLOODWAY AREA WITHIN ZONE "AE"



**BOUNDARY AND TOPOGRAPHIC SURVEY
FOR
THE CITY OF BROOKHAVEN
(MURPHEY CANDLER PARK)
LOCATED IN
LAND LOTS 326, 327 & 331, 18TH DISTRICT
DEKALB COUNTY, GEORGIA**

SHEET NO.
13
13

Project No.	2016087	No.	Date
Survey Crew	WLDW	#1	
Drawn By	NEC	#2	
Approved By	WCV	#3	
Date	08/22/16	#7	
Scale	1"=40'	#8	
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TerraMark
Professional Land Surveying
C. O. A. #LSF000810

TerraMark Land Surveying, Inc.
1000 Northwoods Blvd.
Mableton, Georgia 30080
Phone No. (770) 421-1927
Fax No. (770) 421-0552
www.TerraMark.com

MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLAN

GEORGIA

CITY OF BROOKHAVEN

BROOKHAVEN

SUBMITTALS / REVISIONS

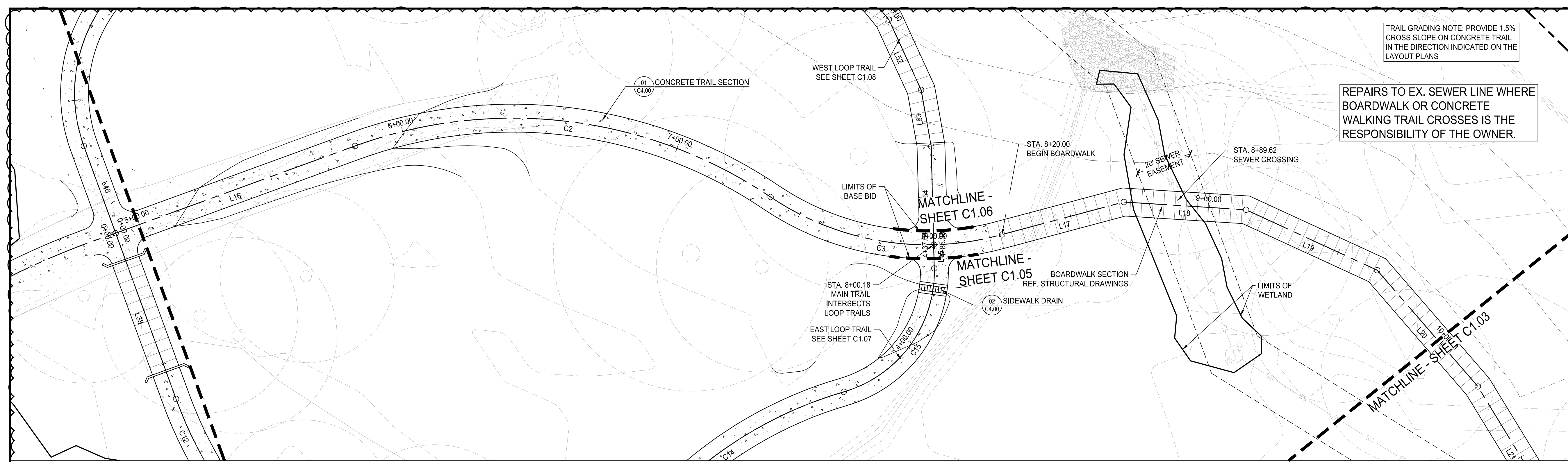
NO.	DATE	DESCRIPTION
1	11.15.2022	COUNTY PERMIT REVISIONS
3	05.25.2023	PER CITY REVIEW (5/24/2023)
-	-	-
-	-	-
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-	-	-
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PERMIT DRAWINGS

SHEET TITLE

PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY	SCALE 1"=20'
CHECKED BY	
SHEET NO.	



SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	11/15/2022	COUNTY PERMIT COMMENTS

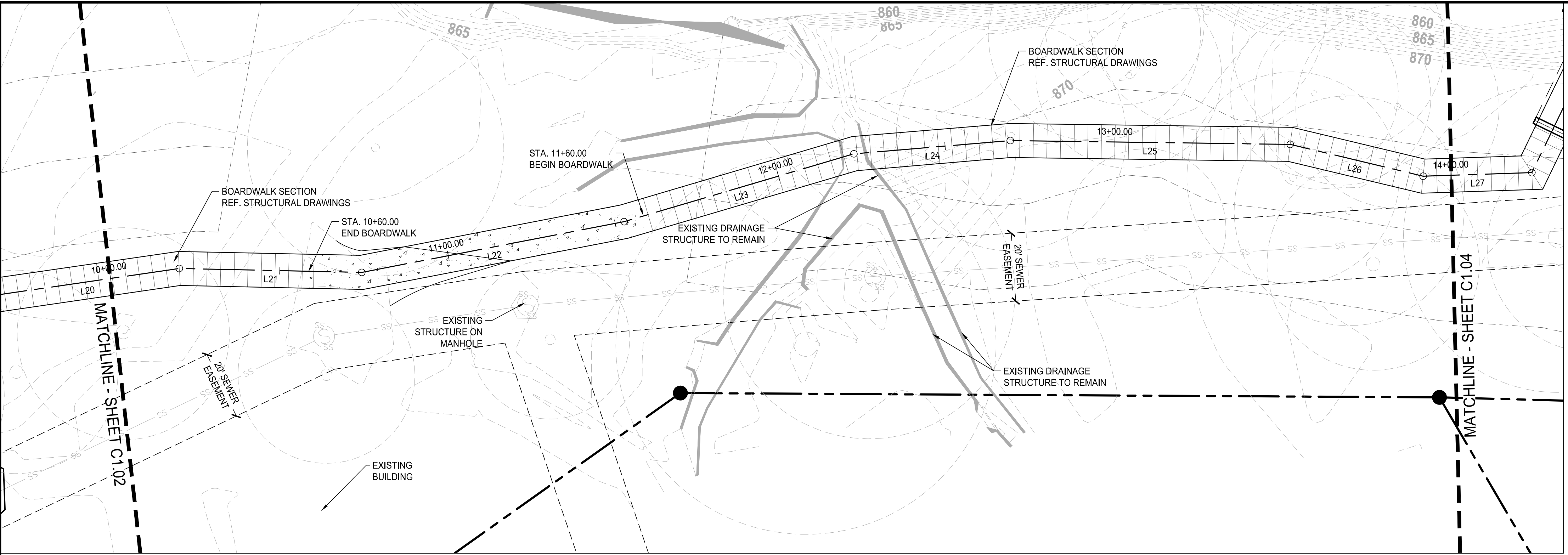
PERMIT DRAWINGS

SHEET TITLE

PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1" = 20'
CHECKED BY DMY	
SHEET NO.	

C1.03
APPROVED PLAN 09/20/2023
Permit # LDP22-00012



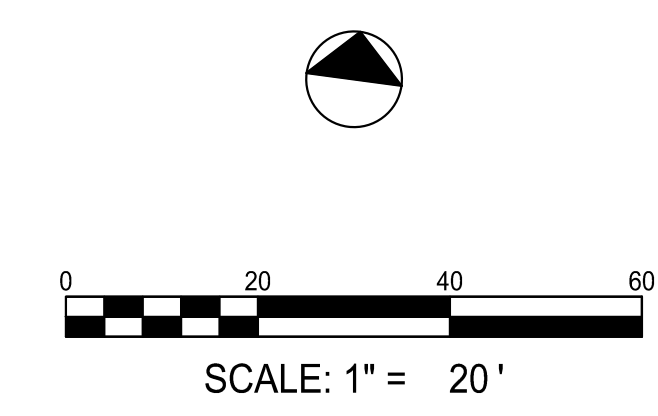
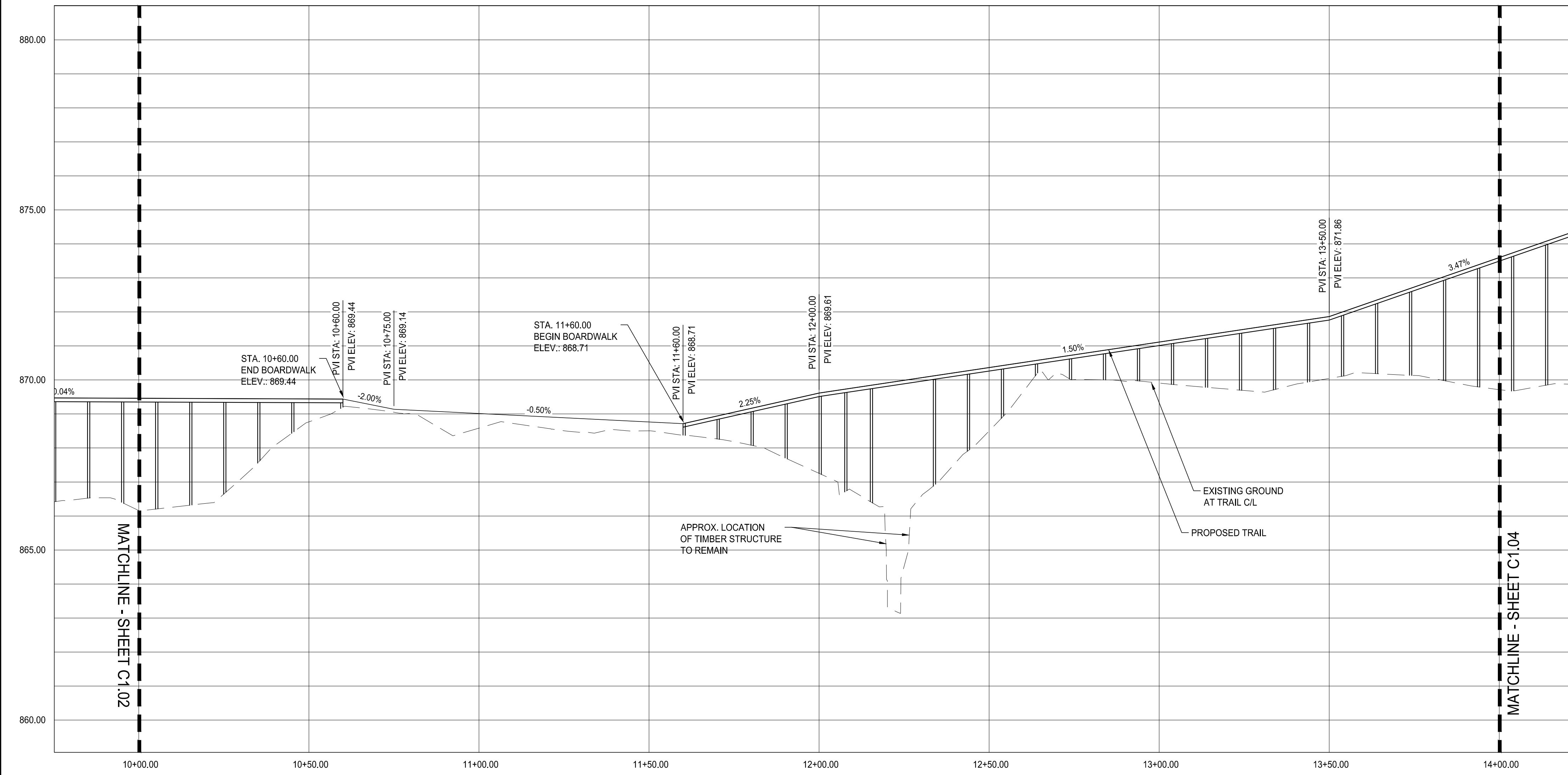
TRAIL GRADING NOTE: PROVIDE 1.5% CROSS SLOPE ON CONCRETE TRAIL IN THE DIRECTION INDICATED ON THE LAYOUT PLANS

REPAIRS TO EX. SEWER LINE WHERE BOARDWALK OR CONCRETE WALKING TRAIL CROSSES IS THE RESPONSIBILITY OF THE OWNER.

LAYOUT INFO LEGEND

- LIGHT DUTY CONCRETE PER DETAIL 1/C4.01
- HEAVY DUTY CONCRETE PER DETAIL 2/C4.01
- BOARDWALK PER STRUCTURAL DRAWINGS
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

NOTE: SEE SHEET C1.04 FOR MAIN TRAIL ALIGNMENT TABLES



SUBMITTALS / REVISIONS

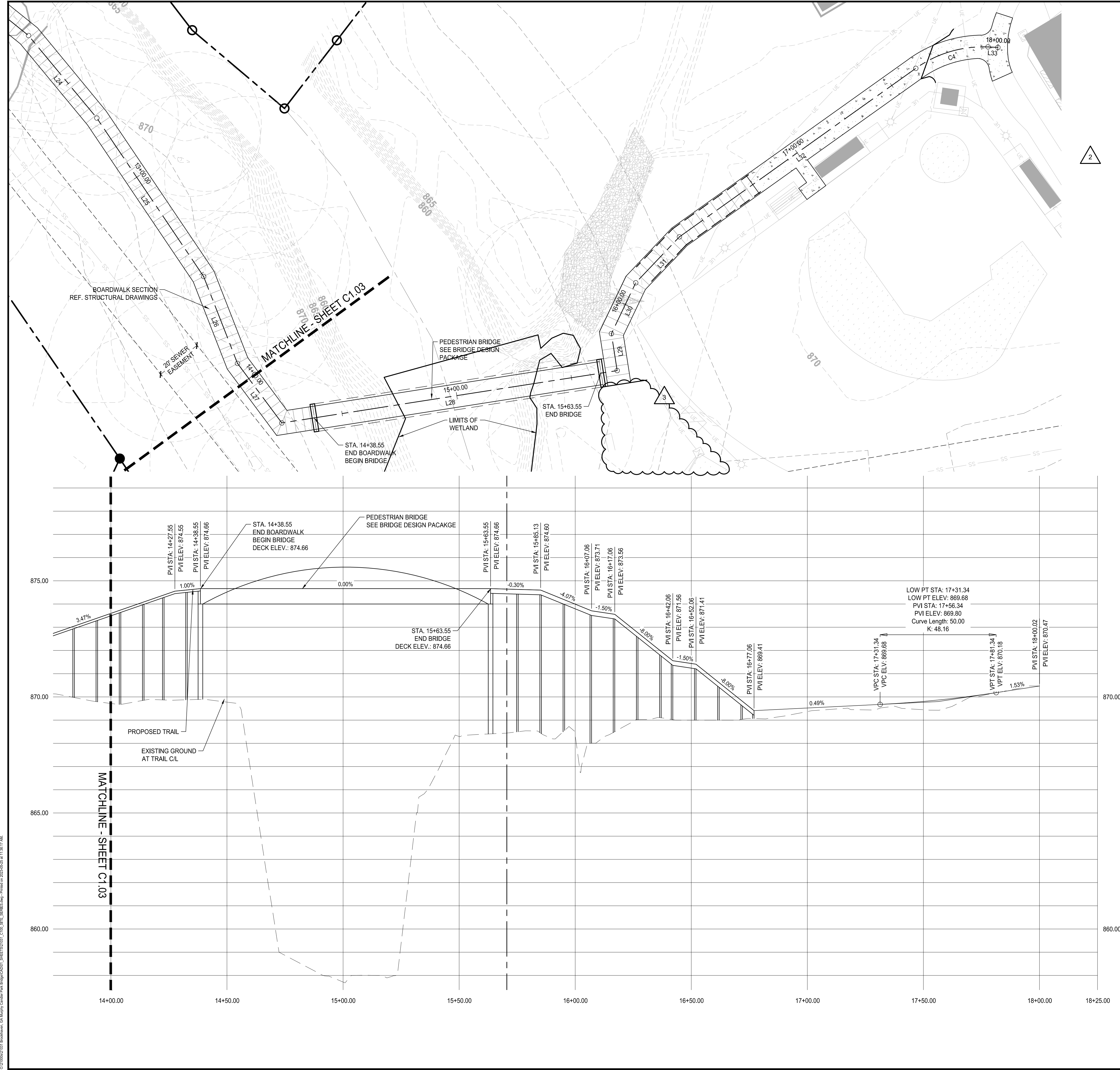
NO.	DATE	DESCRIPTION
1	11.15.2022	COUNTY PERMIT COMMENTS
2	05.15.2023	TRAIL PLAN PROFILE VIEW CHANGED
3	05.20.2023	PER CITY REVIEW 05.24.2023

PERMIT DRAWINGS

SHEET TITLE

PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1" = 20'
CHECKED BY DMY	
SHEET NO.	



TRAIL GRADING NOTE: PROVIDE 1.5% CROSS SLOPE ON CONCRETE TRAIL IN THE DIRECTION INDICATED ON THE LAYOUT PLANS

REPAIRS TO EX. SEWER LINE WHERE BOARDWALK OR CONCRETE WALKING TRAIL CROSSES IS THE RESPONSIBILITY OF THE OWNER.

LAYOUT INFO LEGEND

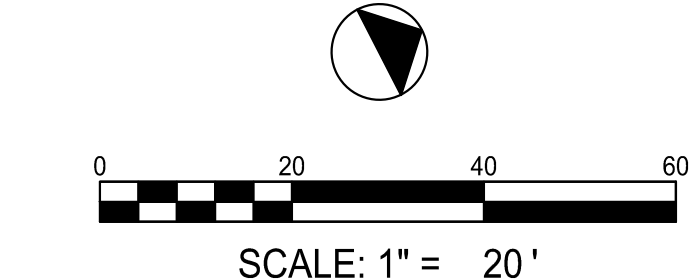
- [Symbol] LIGHT DUTY CONCRETE PER DETAIL 1/C4.01
- [Symbol] HEAVY DUTY CONCRETE PER DETAIL 2/C4.01
- [Symbol] BOARDWALK PER STRUCTURAL DRAWINGS
- [Symbol] EXPANSION JOINT PER DETAIL 1&2/C4.01
- [Symbol] CONTROL JOINT PER DETAIL 1&2/C4.01

MAIN TRAIL ALIGNMENT TABLES

Line Table: Alignments				
Line #	Length	Direction	Start Point	End Point
L1	50.980	N64° 48' 39.29"W	(2247775.8097,1420397.2728)	(2247729.6777,1420418.9701)
L2	2.660	N66° 18' 46.52"W	(2247729.6777,1420418.9701)	(2247727.2422,1420420.0386)
L3	31.683	N73° 17' 09.25"W	(2247727.2422,1420420.0386)	(2247696.8980,1420429.1504)
L4	9.914	N67° 24' 20.65"W	(2247696.8980,1420429.1504)	(2247687.7447,1420432.9595)
L5	18.828	N56° 39' 23.90"W	(2247687.7447,1420432.9595)	(2247672.0156,1420443.3086)
L6	5.654	N46° 36' 27.65"W	(2247672.0156,1420443.3086)	(2247667.9070,1420447.1929)
L7	16.349	N38° 43' 00.55"W	(2247667.9070,1420447.1929)	(2247657.6812,1420459.9490)
L8	22.988	N31° 35' 56.78"W	(2247657.6812,1420459.9490)	(2247645.6359,1420479.5291)
L9	20.529	N42° 54' 31.97"W	(2247645.6359,1420479.5291)	(2247631.6594,1420494.5650)
L10	26.319	N56° 25' 37.28"W	(2247631.6594,1420494.5650)	(2247609.7308,1420509.1194)
L11	20.892	N66° 41' 04.87"W	(2247609.7308,1420509.1194)	(2247590.5450,1420517.3882)
L12	20.635	N54° 33' 11.26"W	(2247590.5450,1420517.3882)	(2247573.7349,1420529.3552)
L13	17.738	N40° 07' 47.24"W	(2247573.7349,1420529.3552)	(2247562.3026,1420542.9172)
L14	15.140	N27° 10' 27.40"W	(2247562.3026,1420542.9172)	(2247555.3883,1420556.3859)
L15	69.264	N21° 30' 58.95"W	(2247555.3883,1420556.3859)	(2247529.9845,1420620.8232)
L16	93.134	N04° 58' 22.88"E	(2247510.4700,1420757.3801)	(2247518.5434,1420850.1633)
L17	45.125	N10° 03' 52.64"E	(2247645.2634,1421046.8707)	(2247653.1494,1421091.3013)
L18	43.854	N28° 38' 26.85"E	(2247653.1494,1421091.3013)	(2247674.1696,1421129.7898)
L19	51.891	N49° 43' 45.29"E	(2247674.1696,1421129.7898)	(2247713.6094,1421163.2026)
L20	55.140	N74° 07' 20.09"E	(2247713.6094,1421163.2026)	(2247766.6458,1421178.2882)

Line Table: Alignments				
Line #	Length	Direction	Start Point	End Point
L21	53.657	N83° 37' 41.80"E	(2247766.6458,1421178.2882)	(2247819.9709,1421184.2429)
L22	78.556	N71° 27' 10.45"E	(2247819.9709,1421184.2429)	(2247894.4470,1421209.2303)
L23	70.445	N65° 56' 30.95"E	(2247894.4470,1421209.2303)	(2247958.7722,1421237.9479)
L24	46.162	N77° 32' 21.28"E	(2247958.7722,1421237.9479)	(2248003.8467,1421247.9083)
L25	82.297	N83° 11' 05.32"E	(2248003.8467,1421247.9083)	(2248085.5625,1421257.6743)
L26	40.177	S84° 09' 02.94"E	(2248085.5625,1421257.6743)	(2248125.5305,1421253.5798)
L27	31.991	N80° 30' 13.47"E	(2248125.5305,1421253.5798)	(2248157.0827,1421258.8577)
L28	146.214	N18° 16' 44.56"E	(2248157.0827,1421258.8577)	(2248202.9419,1421397.6935)
L29	16.111	N71° 43' 15.52"W	(2248202.9419,1421397.6935)	(2248187.8443,1421402.7464)
L30	24.278	N37° 17' 33.20"W	(2248187.8443,1421402.7464)	(2248172.9347,1421422.0608)
L31	27.325	N19° 17' 41.12"W	(2248172.9347,1421422.0608)	(2248163.9059,1421447.8506)
L32	125.039	N08° 20' 03.31"W	(2248163.9059,1421447.8506)	(2248145.7818,1421571.5686)
L33	4.251	N30° 14' 22.56"E	(2248151.7724,1421603.4903)	(2248153.9133,1421607.1628)

Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C1	270.000	139.490	N08° 07' 57.79"W	(2247529.9845,1420620.8232)	(2247510.4700,1420757.3801)
C2	165.000	155.697	N32° 00' 20.26"E	(2247518.5434,1420850.1633)	(2247598.0354,1420977.3492)
C3	100.002	86.740	N34° 11' 21.98"E	(2247598.0354,1420977.3492)	(2247645.2634,1421046.8707)
C4	50.000	33.079	N10° 37' 43.72"E	(2248145.7818,1421571.5686)	(2248151.7724,1421603.4903)



SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
2	05/15/2023	TRAIL PLAN PROFILE VIEW CHANGED
3	05/25/2023	PER CITY REVIEW 05/24/2023

PERMIT DRAWINGS

SHEET TITLE

PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1"=20'
CHECKED BY DMY	
SHEET NO.	

C1.06
APPROVED PLAN 09/20/2023
Permit # LDP22-00012

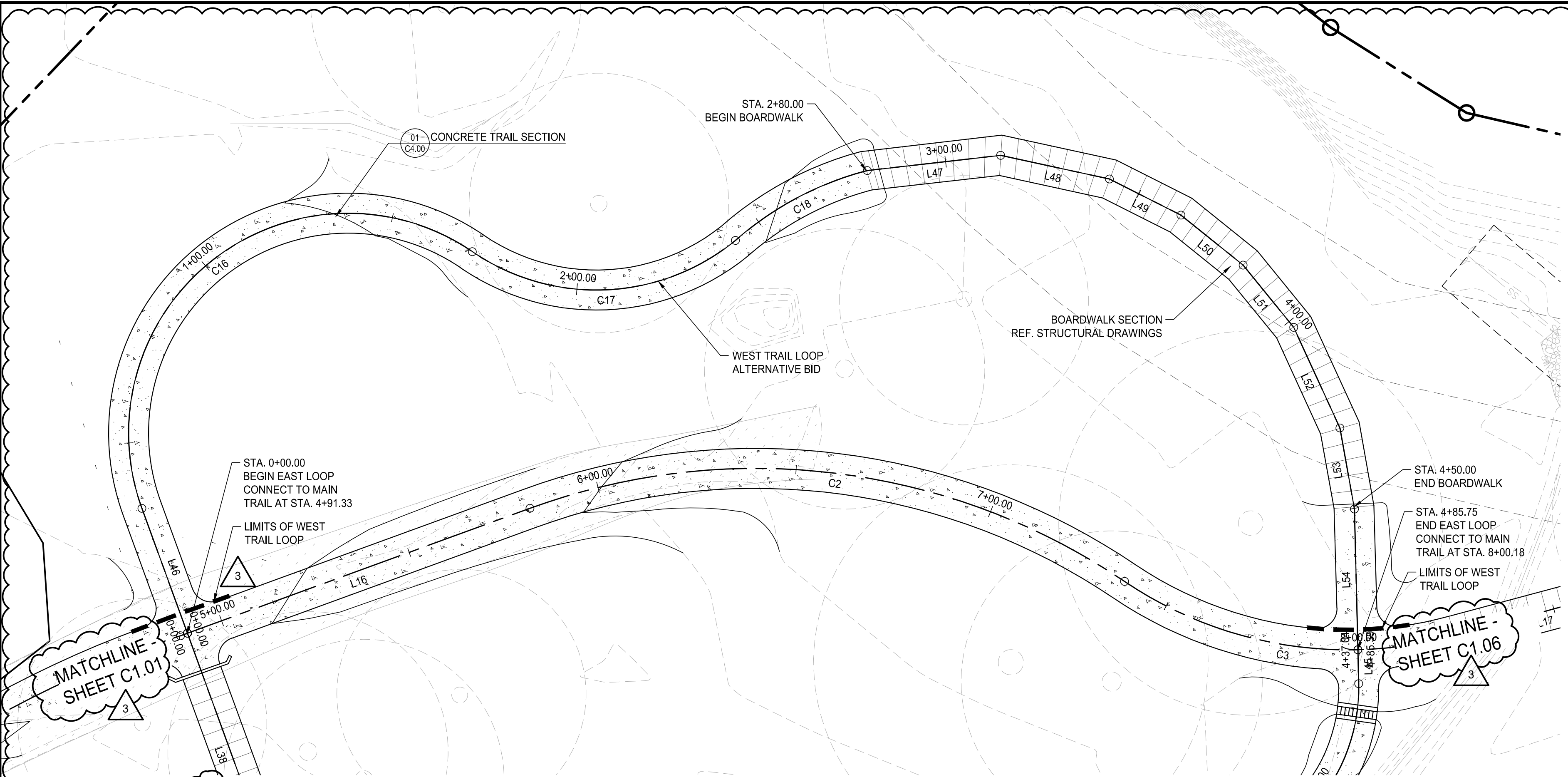
LAYOUT INFO LEGEND

	LIGHT DUTY CONCRETE PER DETAIL 1/C4.01
	HEAVY DUTY CONCRETE PER DETAIL 2/C4.01
	BOARDWALK PER STRUCTURAL DRAWINGS
	EXPANSION JOINT PER DETAIL 1&2/C4.01
	CONTROL JOINT PER DETAIL 1&2/C4.01

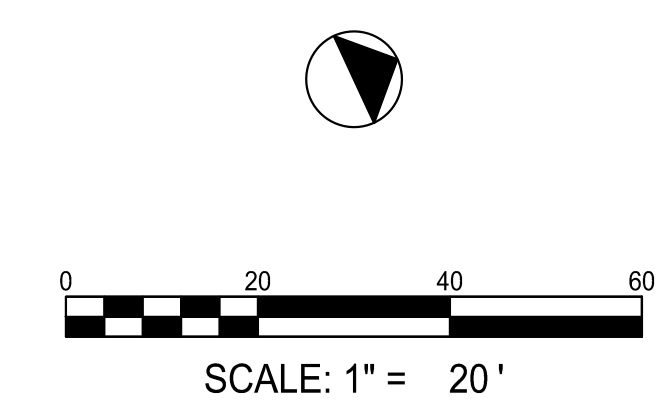
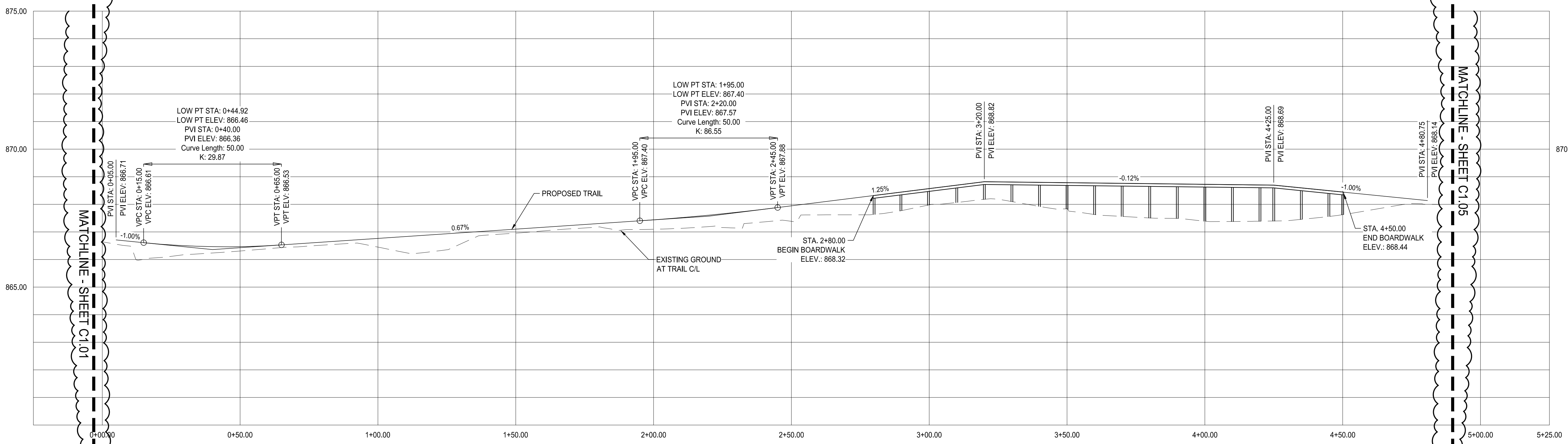
EAST TRAIL LOOP ALIGNMENT TABLES

Line Table: Alignments				
Line #	Length	Direction	Start Point	End Point
L46	33.257	N85° 01' 37.12"W	(2247510.6296,1420759.2141)	(2247477.4980,1420762.0970)
L47	33.594	N18° 29' 48.72"E	(2247477.6448,1420962.4225)	(2247488.3025,1420994.2808)
L48	27.865	N37° 15' 59.64"E	(2247488.3025,1420994.2808)	(2247505.1751,1421016.4562)
L49	20.076	N51° 44' 28.42"E	(2247505.1751,1421016.4562)	(2247520.9389,1421028.8872)
L50	19.969	N63° 48' 12.38"E	(2247520.9389,1421028.8872)	(2247538.8566,1421037.7025)
L51	20.076	N75° 51' 56.35"E	(2247538.8566,1421037.7025)	(2247558.3244,1421042.6049)
L52	27.700	S89° 39' 34.83"E	(2247558.3244,1421042.6049)	(2247586.0241,1421042.4403)
L53	20.611	S75° 11' 05.94"E	(2247586.0241,1421042.4403)	(2247605.9495,1421037.1703)
L54	35.223	S66° 24' 11.23"E	(2247605.9495,1421037.1703)	(2247638.2272,1421023.0705)

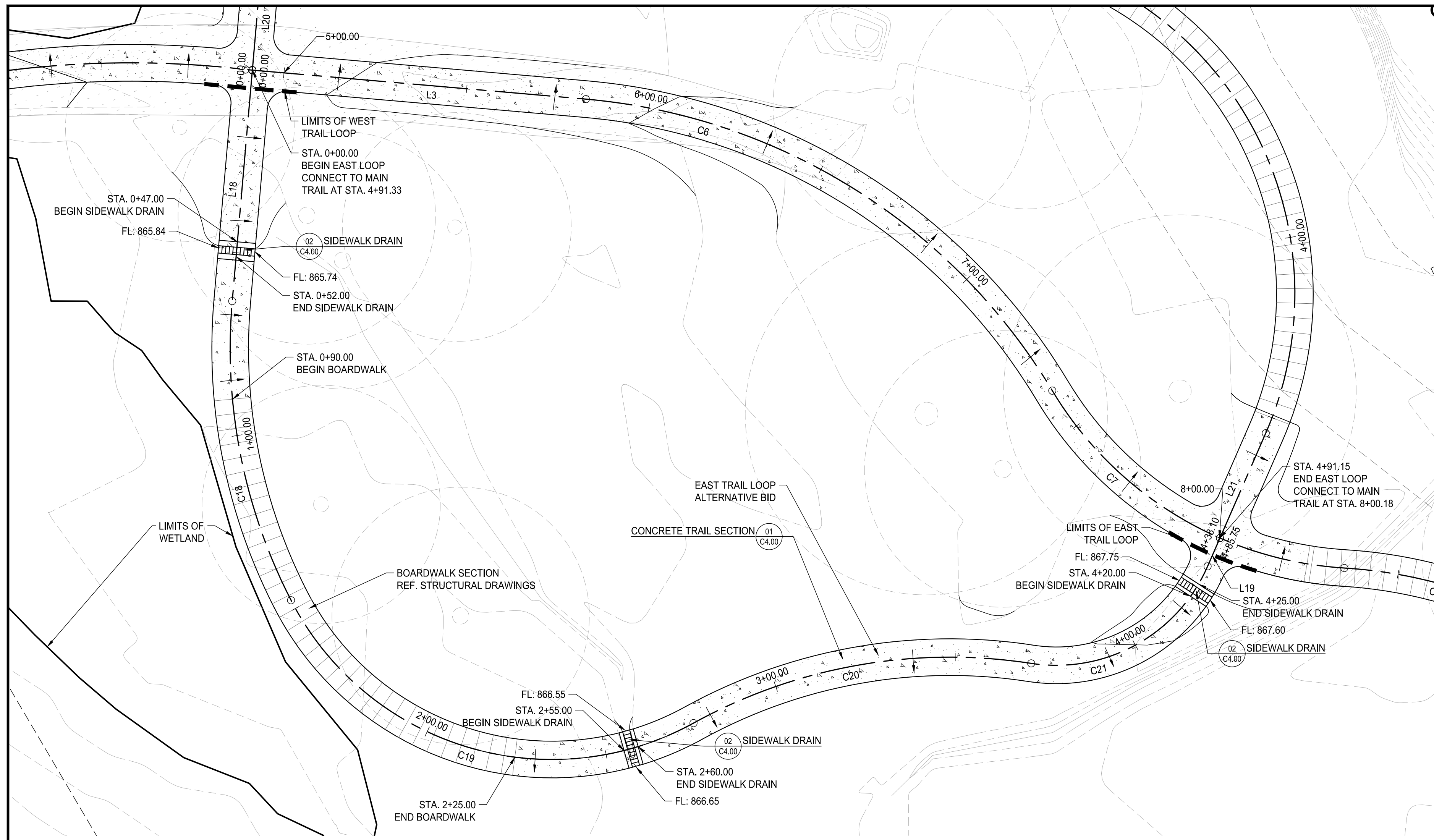
Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C16	55.000	138.621	N12° 49' 25.30"W	(2247477.4980,1420762.0970)	(2247454.2516,1420864.2209)
C17	55.000	70.695	N22° 33' 23.72"E	(2247454.2516,1420864.2209)	(2247479.5413,1420925.1055)
C18	80.992	37.705	N02° 54' 33.80"W	(2247479.5413,1420925.1055)	(2247477.6448,1420962.4225)



Profile View of WEST LOOP NEW



0:20/09/2023 Brookhaven, GA Murphey Candler Park Design Co., LLC 04/01/2023 11:13:07 AM



EAST TRAIL LOOP ALIGNMENT TABLES

Line Table: Alignments				
Line #	Length	Direction	Start Point	End Point
L18	63.221	S85° 01' 37.12"E	(2247510.6296,1420759.2141)	(2247573.6125,1420753.7336)
L19	8.420	N66° 24' 08.35"W	(2247645.9434,1421019.7000)	(2247638.2274,1421023.0707)

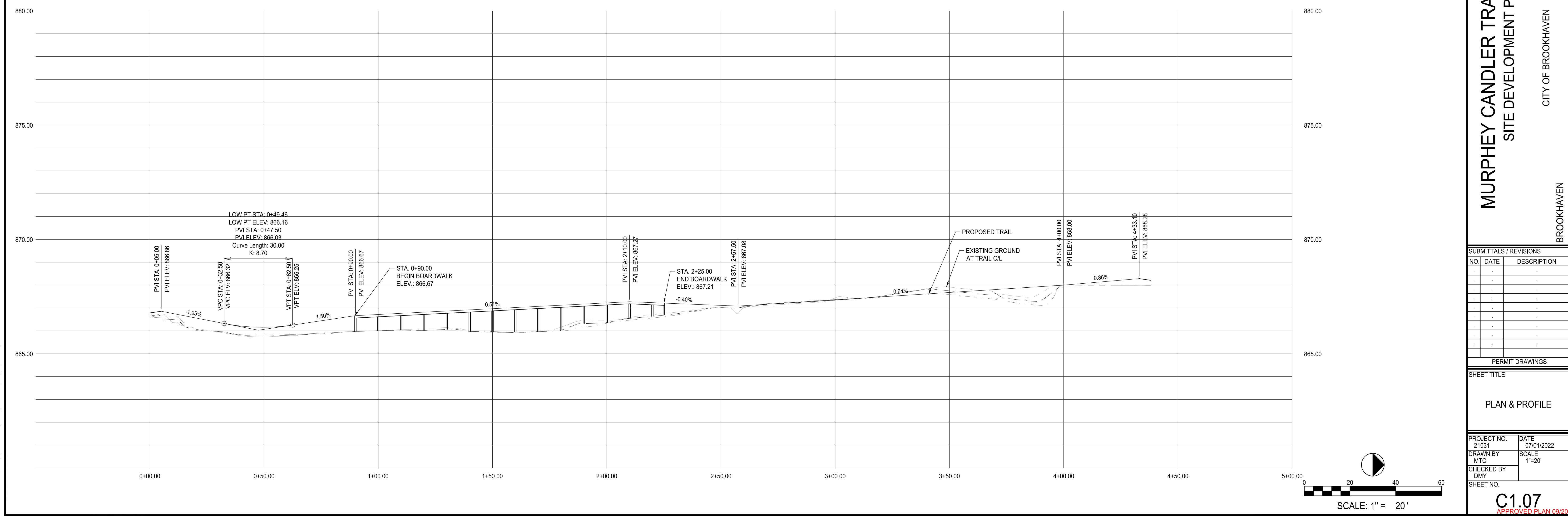
Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C18	150.000	84.243	N78° 53' 01.46"E	(2247573.6125,1420753.7336)	(2247655.1926,1420769.7631)
C19	80.000	127.952	N16° 58' 30.61"E	(2247655.1926,1420769.7631)	(2247688.6928,1420879.5073)
C20	145.000	95.218	N10° 01' 54.86"W	(2247688.6928,1420879.5073)	(2247672.4026,1420971.5935)
C21	45.000	59.049	N28° 48' 41.04"W	(2247672.4026,1420971.5935)	(2247645.9434,1421019.7000)

LAYOUT INFO LEGEND

- LIGHT DUTY CONCRETE PER DETAIL 1/C4.01
- HEAVY DUTY CONCRETE PER DETAIL 2/C4.01
- BOARDWALK PER STRUCTURAL DRAWINGS
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01

LOSE DESIGN
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MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLAN

CITY OF BROOKHAVEN

BROOKHAVEN

GEORGIA

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

PERMIT DRAWINGS

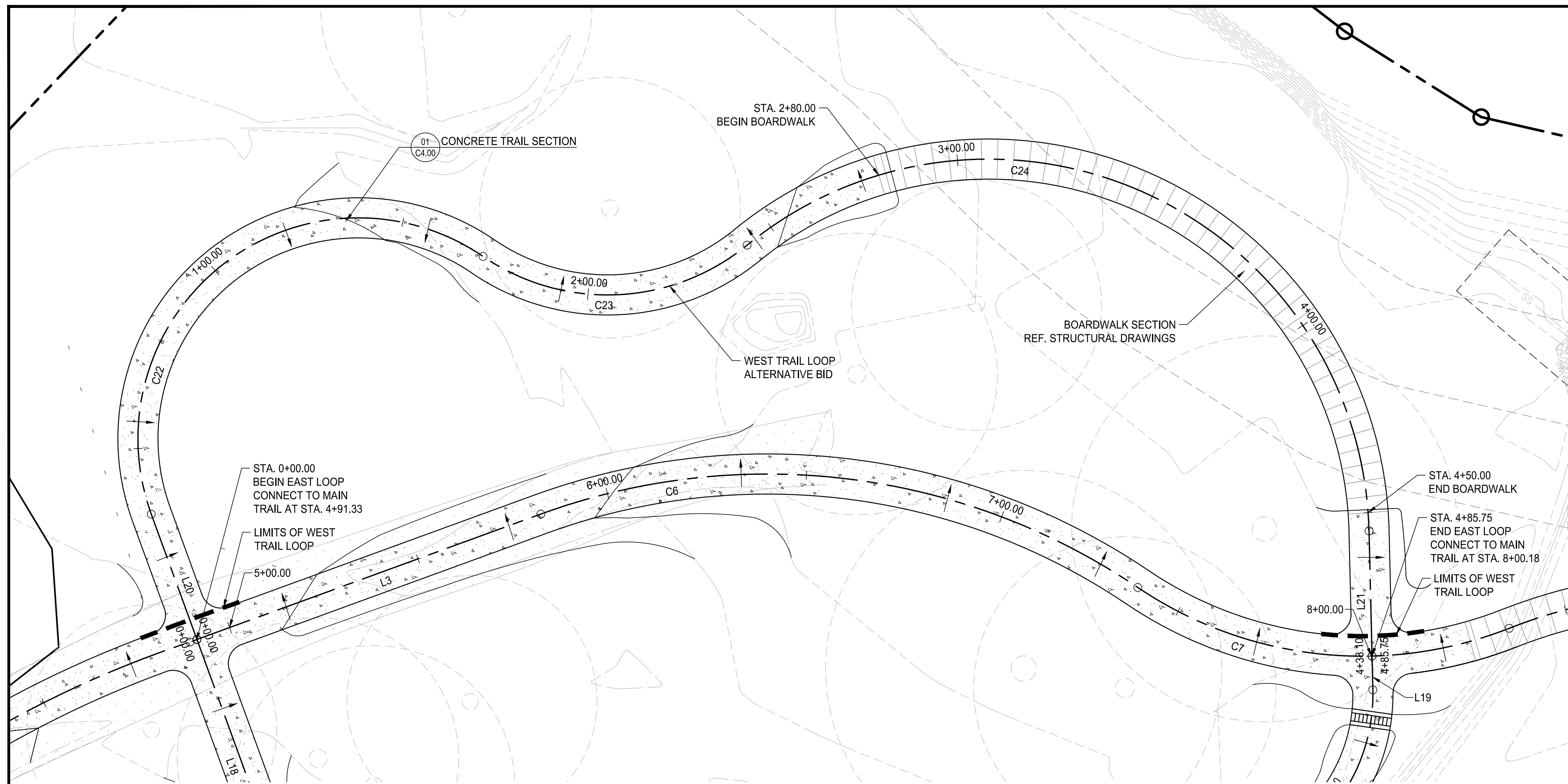
SHEET TITLE

PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1"=20'
CHECKED BY DMY	
SHEET NO.	

C1.07
APPROVED PLAN 09/20/2023
Permit # LDP22-00012

0:2020092023 Brookhaven, GA Murphey Candler Trail, Design: MTC, DATE: 09/20/2023, 11:19:44 PM.



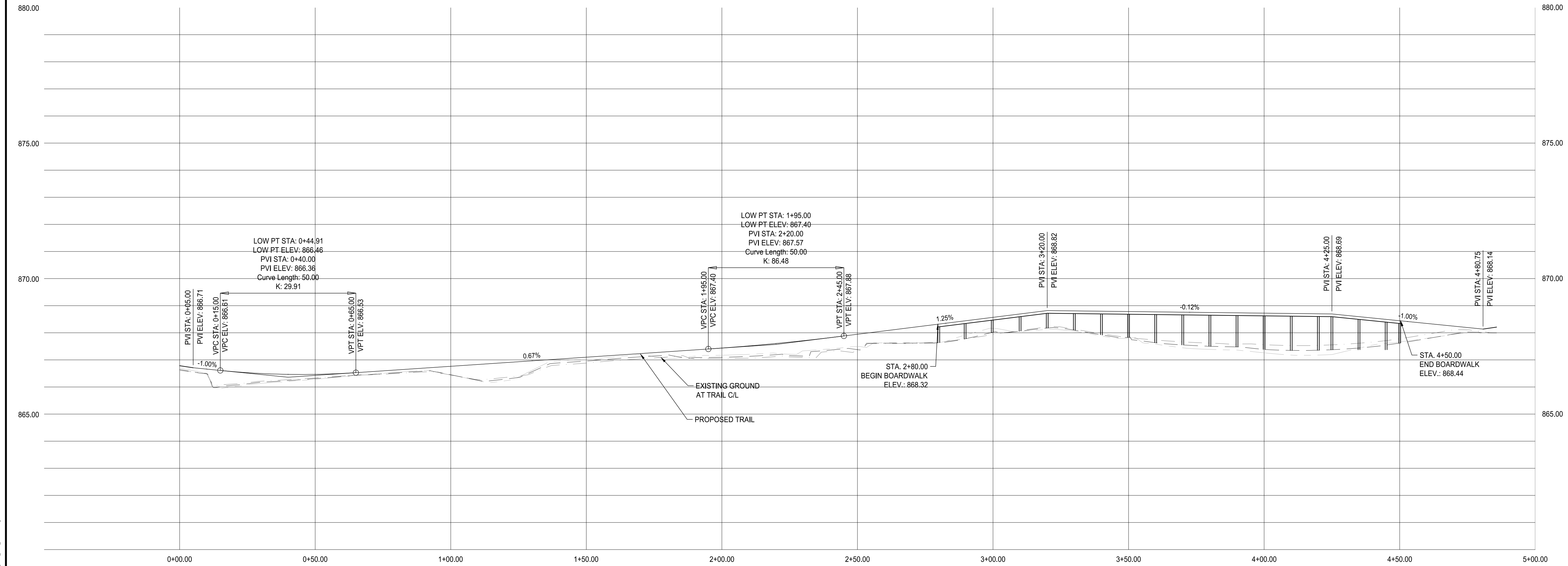
WEST TRAIL LOOP ALIGNMENT TABLES

Line Table: Alignments				
Line #	Length	Direction	Start Point	End Point
L20	33.257	N85° 01' 37.12"W	(2247510.6296,1420759.2141)	(2247477.4980,1420762.0970)
L21	31.191	S66° 24' 11.38"E	(2247609.6441,1421035.5564)	(2247638.2273,1421023.0705)

Curve Table: Alignments					
Curve #	Radius	Length	Chord Direction	Start Point	End Point
C22	55.000	138.621	N12° 49' 25.30"W	(2247477.4980,1420762.0970)	(2247454.2516,1420864.2209)
C23	55.000	70.689	N22° 33' 35.79"E	(2247454.2516,1420864.2209)	(2247479.5429,1420925.0993)
C24	95.000	211.994	N49° 40' 06.42"E	(2247479.5429,1420925.0993)	(2247609.6441,1421035.5564)

LAYOUT INFO LEGEND

- LIGHT DUTY CONCRETE PER DETAIL 1/C4.01
- HEAVY DUTY CONCRETE PER DETAIL 2/C4.01
- BOARDWALK PER STRUCTURAL DRAWINGS
- EXPANSION JOINT PER DETAIL 1&2/C4.01
- CONTROL JOINT PER DETAIL 1&2/C4.01



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GEORGIA
MURPHEY CANDLER TRAIL - SOUTH
 SITE DEVELOPMENT PLAN
 CITY OF BROOKHAVEN
 BROOKHAVEN

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

PERMIT DRAWINGS

SHEET TITLE
PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1"=20'
CHECKED BY DMY	
SHEET NO.	

C1.08
APPROVED PLAN 09/20/2023
Permit # LDP22-00012

0:20/09/2023 Brookhaven, GA Murphey Candler Trail Site Development Plan - Sheet 01 of 11 11:59 AM

NPDES PERMIT COVERAGE (CONTINUED)

EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN (ESPC)

THIS PLAN WAS PREPARED AS REQUIRED BY NPDES GENERAL PERMIT NO. GAR 100001 (STAND ALONE CONSTRUCTION PROJECT). THESE PLAN SHEETS AND ALL REQUIREMENTS OF THE GENERAL PERMIT AS WELL AS LOCAL, STATE, AND FEDERAL REGULATIONS OR LAWS APPLY REGARDLESS OF SPECIFIC INCLUSION IN THIS PLAN.

SITE DESCRIPTION:

OWNER/DEVELOPER AS PRIMARY PERMITTEE WILL OVERSEE SITE CONSTRUCTION LOCATED WITHIN THE PROPERTY LOCATED AT 1551 WEST NANCY CREEK, ATLANTA, GA 30319. THE ENTIRE SITE CONTAINS 436.79 ACRES.

DESCRIBE PROPERTY TO BE DEVELOPED: MUNICIPAL PARK

AFTER PLACEMENT OF PERIMETER SILT PROTECTION BARRIERS AND CONSTRUCTION ENTRANCES CONSTRUCTION WILL BEGIN WITH DEMOLITION OF EXISTING SITE FEATURES AS OUTLINED ON THE DEMOLITION C03.03 CONTINUING WITH CLEARING AND GRUBBING OF VEGETATION IN AREAS THAT ARE TO BE DISTURBED, PRELIMINARY AND FINAL GRADING, UTILITY INSTALLATION, SIDEWALKS AND STRUCTURES PER THE PHASED EROSION CONTROL PLAN SHEETS C2.10-C2.32 AND CONSTRUCTION PLAN SET.

STORM WATER RUNOFF FROM THIS DEVELOPMENT WILL BE DIVERTED THROUGH TEMPORARY BMP'S UNTIL THE SITE IS STABILIZED.

ZONING:

THIS SITE IS ZONED R-100.

SURVEY INFORMATION:

BOUNDARY AND TOPOGRAPHIC SURVEY, DATED 08/22/2016, BY TERRAMARK LAND SURVEYING, INC.

NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM PANEL 13089C0014K. EFFECTIVE DATE AUGUST 15, 2019.

RUNOFF COEFFICIENT

- WEIGHTED PRE-CONSTRUCTION CN CURVE NUMBER: 55
- WEIGHTED POST-CONSTRUCTION CN CURVE NUMBER: 60

SOIL TYPES

THE NRCS SOIL TYPES CAN BE FOUND ON SHEET C2.10 OF THESE CONSTRUCTION DOCUMENTS

SOIL DISTRIBUTING ACTIVITIES INCLUDE:

- INSTALLING A STABILIZED CONSTRUCTION EXIT, PERIMETER AND OTHER EROSION AND SEDIMENT CONTROLS.
- CLEARING AND GRUBBING.
- EXCAVATION OF THE FOUNDATION.
- GRADING AND EXCAVATION FOR UTILITIES.
- PREPARATION FOR FINAL PLANTING AND SEEDING.
- COMPLETION OF ON-SITE STABILIZATION.

SEQUENCE OF MAJOR ACTIVITIES - SEE CONSTRUCTION SCHEDULE

BUFFER ENCROACHMENTS

THERE ARE 25 FOOT STATE WATERS BUFFERS ON THIS SITE BUT THERE ARE NO ENCROACHMENTS. A BUFFER VARIANCE IS NOT REQUIRED FROM GEORGIA ENVIRONMENTAL PROTECTION DIVISION (EPD).

NAME OF RECEIVING WATERS:

THE RECEIVING WATER FOR THIS SITE IS AN UNNAMED TRIBUTARY OF NANCY CREEK. THIS PROJECT DOES DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT.

CONTROLS

EROSION AND SEDIMENT CONTROLS

ALL PERIMETER SILT FENCES AND CONSTRUCTION EXITS SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.

EXISTING VEGETATION SHALL BE LEFT IN PLACE UNTIL SUCH TIME THAT LAND DISTURBING ACTIVITIES ARE TO TAKE PLACE UPON THAT PORTION OF THE SITE. WHEN CONSTRUCTION ACTIVITIES HAVE CEASED IN AN AREA, THAT AREA SHALL BE STABILIZED WITHIN 14 DAYS. IF THE AREA IS NOT YET TO FINAL GRADE, IT SHALL BE MULCHED. IF THE AREA IS TO FINAL GRADE AND WILL EVENTUALLY CONTAIN SITE IMPROVEMENTS SUCH AS THE STRUCTURES OR SIDEWALKS, IT SHALL BE TEMPORARILY SEEDED. AREAS BROUGHT TO FINAL GRADE THAT WILL REMAIN PERVIOUS ARE TO BE PERMANENTLY SEEDED. ALLOWABLE EXCEPTIONS FROM THE NPDES GENERAL PERMIT, GAR 100001, ARE NOTED BELOW.

"WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION, ACTIVITY TEMPORARY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE."

"WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED."

PLEASE REFER TO DETAIL SHEETS FOR THE LAND DISTURBANCE CONSTRUCTION SCHEDULE AND TEMPORARY AND PERMANENT GRASSING SCHEDULES.

NON- STORM WATER DISCHARGES

ALL NON-STORM WATER DISCHARGES WILL BE ROUTED THROUGH ON SITE BMP'S AND THE STORM WATER MANAGEMENT SYSTEM WHERE POSSIBLE. THESE DISCHARGES INCLUDE FLUSHING OF WATER AND FIRE LINES, IRRIGATION WATER, GROUND WATER, DEWATERING OR PITS OR DEPRESSIONS WITHIN THE CONSTRUCTION SITE AND RINSE ALL WATER OF NON-TOXIC MATERIALS.

OTHER CONTROLS

NO WASTE WILL BE DISPOSED OF INTO STORM WATER INLETS OR WATERS OF THE STATE.

WASTE MATERIALS

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULLED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.

ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTES

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCC FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND ALL THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCC AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTE WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ONSITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

SANITARY WASTES

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

ALL SANITARY WASTE UNITS WILL BE LOCATED IN ONE AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS WILL BE DETERMINED BY THE CONTRACTOR.

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY AT THE COMPLETION OF THIS PROJECT.

CONCRETE WASHDOWN PER DETAIL 1 ON SHEET C3.40

WASHOUT OF THE CONCRETE DRUM IS PROHIBITED. FOLLOWING IS A PROCEDURE TO WASHDOWN TOOLS, CHUTE AND HOPPER:

- COORDINATE WITH SITE SUPERINTENDENT TO EXCAVATE A PIT DEEP ENOUGH TO CONTAIN WASHDOWN WATER.
- BACK IN EQUIPMENT
- WASHDOWN ONLY THE CHUTE, HOPPER AND REAR OF THE VEHICLE. DO NOT WASH OUT THE DRUM.
- MAKE SURE WASHDOWN WATER GOES INTO AND STAYS IN THE PIT.
- COORDINATE WITH SITE SUPERINTENDENT TO FILL IN PIT AND SMOOTH OUT GROUND.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEET C2.11 FOR CONSTRUCTION EXIT LOCATION AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT, OR RACK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE FOLLOWING MATERIALS ARE EXPECTED ONSITE DURING CONSTRUCTION: CONCRETE PRODUCTS, ASPHALT, PETROLEUM BASED FUELS AND LUBRICANTS FOR EQUIPMENT, TAR, METAL BUILDING MATERIALS, LUMBER, SHEET ROCK, FLOOR COVERINGS, ELECTRICAL WIRE AND FIXTURES, PAINTS/ STAINS/ FINISHING TREATMENTS, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CLEANING SOLVENTS, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, PLASTIC AND METAL PIPES.

SPILL PREVENTION

PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS AND SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

- QUANTITIES OF PRODUCTS STORED ONSITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB.
- PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL WHERE POSSIBLE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER LABELS LEGIBLE AND VISIBLE.
- PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL.

PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS- CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OR SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINTS/ FINISHES/ SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASTE WATER ONSITE.

FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE PROCEDURES.

SOIL CLEANUP AND CONTROL PRACTICES

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.
- FOR SPILLS THAT IMPACT SURFACE WATER, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

ON-SITE BUILDING MATERIALS:

BUILDING MATERIALS AND BUILDING PRODUCTS WILL BE COVERED WITH PLASTIC SHEETING SECURED OVER THE MATERIALS OR PER MANUFACTURER'S RECOMMENDATION. ALL BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS SHALL BE COVERED AND NOT IN DIRECT CONTACT WITH THE GROUND TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

INSPECTIONS

PRIMARY PERMITTEE

- EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- MEASURE AND RECORD RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPO) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
- BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
- A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E. INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN, WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS. THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

MAINTENANCE & INSPECTION OF EROSION & SEDIMENT CONTROLS

MAINTENANCE

THE FOLLOWING BEST MANAGEMENT PRACTICE MAINTENANCE CRITERIA ARE TAKEN FROM THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", 2016 EDITION.

CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TROP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

DETENTION POND OUTLET STRUCTURES SHALL BE KEPT CLEAR OF TRASH AND DEBRIS. THIS WILL REQUIRE CONTINUOUS MONITORING AND MAINTENANCE, WHICH INCLUDES SEDIMENT REMOVAL WHEN ONE-THIRD OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST.

SEDIMENT SHALL BE REMOVED FROM SILT FENCES ONCE IT HAS BEEN ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER. FILTER FABRIC SHALL BE REPLACES WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROXIMATELY SIX MONTHS).

SEDIMENT SHALL BE REMOVED FROM TRAPS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL BE REMOVED FROM CURB INLET PROTECTION IMMEDIATELY FOR EXCAVATED INLET SEDIMENT TRAPS. SEDIMENT SHALL BE REMOVED WHEN ON-HALF OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST TO SEDIMENT ACCUMULATION.

SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT INTER THE INLET AGAIN.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

REPAIR ALL DAMAGES CAUSED TO TEMPORARY SEDIMENT BASINS BY SOIL EROSION OR CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE SPECIFIED DISTANCE BELOW THE TOP OF THE RISER. SEDIMENT SHALL NOT ENTER ADJACENT STREAMS OR DRAINAGE WAYS DURING SEDIMENT REMOVAL OR DISPOSAL. THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT ADJACENT TO A STREAM OR FLOODPLAIN.

INSPECT RIP RAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLOGGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

ROUGHENED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE TO OBTAIN OPTIMUM SEED GERMINATION AND SEEDING GROWTH. MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

PERMANENT VEGETATION SHALL BE APPLIED IMMEDIATELY TO ROUGH GRADED AREAS THAT WILL BE UNDISTURBED FOR LONGER THAN SIX MONTHS. THIS PRACTICE SHALL BE APPLIED IMMEDIATELY TO ALL AREAS AT FINAL GRADE. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, AT LEAST 70% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. PERMANENT VEGETATION SHALL CONSIST OF: PLANTED TREES, SHRUBS, PERENNIAL VINES, A CROP OF PERENNIAL VEGETATION APPROPRIATE FOR THE REGIONS, SUCH THAT WITHIN THE GROWING SEASON 70% COVERAGE BY PERENNIAL VEGETATION SHALL BE ACHIEVED. FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION. UNTIL THIS STANDARD IS SATISFIED AND PERMANENT CONTROL MEASURES AND FACILITIES ARE OPERATIONAL, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL NOT BE REMOVED.

DESIGNER GSWCC LEVEL II

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



ASATO MASUYAMA, CERTIFIED DESIGN PROFESSIONAL

PRIMARY PERMITTEE / OWNER CONTACT:

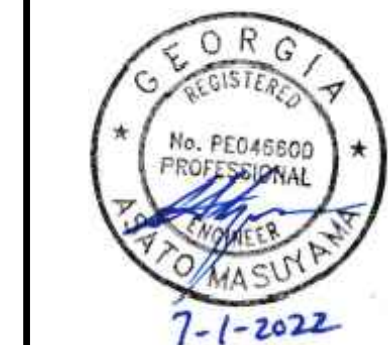
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LOSE
DESIGN
SPACES FOR LIFE.

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MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLAN

GEORGIA

CITY OF BROOKHAVEN

BROOKHAVEN

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
1	05/15/2023	NOTE ON ENCROACHMENT REVIEW
2	05/20/2023	PER CITY REVIEW 05/24/2023
3		

PERMIT DRAWINGS

SHEET TITLE

ESPC NOTES

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY -	SCALE N.T.S.
CHECKED BY -	
SHEET NO. -	

C3.01

APPROVED PLAN 09/20/2023

Permit # LDP22-00012

NPDES PERMIT COVERAGE (CONTINUED)

STORM WATER SAMPLING

SAMPLE ANALYSIS

STORM WATER SAMPLES ARE TO BE ANALYZED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40CFR PART 136 AND THE GUIDANCE DOCUMENT TITLES NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT EPA 833-B-92-001.

STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT 2 OUTFALL LOCATIONS INDICATED ON SHEET C3.04. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDS THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NUMBER GAR 100001. THE NTU IS BASED UPON THE TOTAL PROJECT AREA OF 3.02 ACRES OF THE PROJECT SITE, THE SURFACE WATER DRAINAGE AREA OF BETWEEN 10.00 - 24.99 SQ. MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES.

NTU VALUE= 200

SAMPLE TYPE

ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

- SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
- SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
- LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
- MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
- SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E

SAMPLING POINTS

THERE ARE 2 SAMPLING LOCATION AS INDICATED ON SHEET C3.04 AND SEE POINT TABLE ON C3.04 FOR COORDINATES. PER NPDES PERMIT GAS 100001, FOR CONSTRUCTION ACTIVITIES. THE PRIMARY PERMITTEE MUST COMPLETE ALL SAMPLING.

- CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STREAM WATER CHANNEL.
- THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
- THE SAMPLINGS SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
- THE PRIMARY PERMITTEE DOES NOT HAVE TO SAMPLE SHEET FLOW INTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT.

SAMPLING FREQUENCY

SEE NOTES ON SHEET C3.04.

REPORTING

- THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THE PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.
- ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
 - THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
 - THE DATE(S) ANALYSES WERE PERFORMED;
 - THE TIME(S) ANALYSES WERE INITIATED;
 - THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
 - REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
 - THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC USED TO DETERMINE THESE RESULTS.
 - RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND
 - CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
- ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THE PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

IF NO QUALIFYING EVENTS OCCURRED WITHIN A MONTHLY MONITORING PERIOD, A REPORT MUST BE SUBMITTED STATING SUCH ADDRESSES ARE PROVIDED BELOW:

GOVERNING AGENCY: CITY OF BROOKHAVEN
3360 OSBORNE ROAD
BROOKHAVEN, GA 30319
PHONE: 404.637.0562

OWNER: CITY OF BROOKHAVEN
3360 OSBORNE ROAD
BROOKHAVEN, GA 30319
PHONE: 404.637.0562

ATTN: INSPECTOR: TBD
ADDRESS: TBD
ADDRESS: TBD
PHONE: TBD

RETENTION OF RECORDS

- THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
 - A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
 - A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
 - THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
 - A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
 - A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;
 - A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND
 - DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.
- COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION), OR OTHER REPORTS REQUESTED BY THE THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

THE CONTRACTOR WILL OBTAIN COPIES OF ANY AND ALL LOCAL AND STATE REGULATIONS THAT ARE APPLICABLE TO STORM WATER MANAGEMENT, EROSION CONTROL, AND POLLUTION MINIMIZATION AT THIS JOB SITE AND WILL COMPLY FULLY WITH SUCH REGULATIONS. THE CONTRACTOR WILL SUBMIT WRITTEN EVIDENCE OF SUCH COMPLIANCE IF REQUESTED BY THE OWNER OR ANY AGENT OF A REGULATORY BODY. THE CONTRACTOR WILL COMPLY WITH ALL CONDITIONS OF ANY AND ALL LOCAL, STATE AND FEDERAL AGENCIES HAVE GOVERNING AUTHORITY, INCLUDING THE CONDITIONS RELATED TO MAINTAINING THE ESPCP AND EVIDENCE OF COMPLIANCE WITH THE ESPCP AT THE JOB SITE AND ALLOWING REGULATORY PERSONNEL ACCESS TO THE JOB SITE AND TO RECORDS IN ORDER TO DETERMINE COMPLIANCE.

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS AND CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGES FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL SUBSTRATA. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL AREA UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT

GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES, THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED AND FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OR THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AT IT IS SPREAD. A DISK HARROW WITH THE DISK SET OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. **SEEDING WITH MULCH:**(CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE FERTILIZER, 5-10-15	4000 LBS./ACRE	1500 LBS./ACRE
MULCH, STRAW OR HAY		5000 LBS./ACRE
SEEDING SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
HULL COMMON BERMUDA GRASS	10 LBS.	3/1-6/15
FESCUE	50 LBS.	9/1-10/31
FESCUE RYE GRASS	50 LBS.	11/1-2/28
HAY MULCH FOR TEMP. COVER	5000 LBS.	6/15-8/31

B. **TOP DRESSING:** APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL
FERTILIZER(AMMONIUM NITRATE 33.5%) 300 LBS./ACRE

C. **SECOND-YEAR FERTILIZER:**(5-10-15 OR EQUIVALENT) 800 LBS./ACRE

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. **SEEDING WITH MULCH:** (HYDRAULIC SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE #75	4000 LBS./ACRE	
FERTILIZER, 5-10-15	1500 LBS./ACRE	
MULCH, (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	5000 LBS./ACRE	
1000 LBS./ACRE		
SEEDING SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICA LESPEDEZA, SCARIFIED	60 LBS.	3/1-6/15
WEEPING GRASS OR COMMON BERMUDA, HULLED	4 LBS.	
6 LBS.		
FESCUE	40 LBS.	9/1-10/31
SERICA LESPEDEZA, UNSCARIFIED	60 LBS.	
FESCUE	40 LBS.	
SERICA LESPEDEZA, UNSCARIFIED	75 LBS.	11/1-2/28
RYE	50 LBS.	
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15-8/31

B. **TOP DRESSING:** APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL
FERTILIZER (AMMONIUM NITRATE 33.5%) 3000 LBS./ACRE

C. **SECOND-YEAR FERTILIZER:** (0-20-20 OR EQUIVALENT) 500 LBS./ACRE

GENERAL NOTES PER EROSION, SEDIMENTATION & POLLUTION CONTROL (ES&PC) PLAN CHECKLIST:

- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN SEVEN DAYS AFTER INSTALLATION.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

GENERAL NOTES:

- AFTER CONSTRUCTION, EROSION AND SEDIMENTATION WILL BE MANAGED BY STABILIZED LOT CONSISTING OF PAVED DRIVES, GRASSING, AND LANDSCAPING.
- MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - COVERING 30% OR MORE OF THE SOIL SURFACE WITH NON-ERODIBLE MATERIAL
 - ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS
 - PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES
- EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ONSITE INSPECTOR.
- EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
- CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND LOTS, AND LOTS SHALL NOT EXCEED 2H:1V ON ALL OTHER PROJECTS.
- WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER STARTING WITH THE ISSUANCE OF THE LDP AND ENDING WHEN THE PROJECT IS RELEASED BY THE INSPECTOR.
- INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100001.
- ALL SEWER EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONROL EROSION.
- THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH STABILIZED WITH PERMANENT VEGETATION AND ALL ROAD/DRIVEWAYS HAVE BEEN PAVED.

ON-SITE BUILDING MATERIALS:

BUILDING MATERIALS AND BUILDING PRODUCTS WILL BE COVERED WITH PLASTIC SHEETING SECURED OVER THE MATERIALS OR PER MANUFACTURER'S RECOMMENDATION. ALL BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS SHALL BE COVERED AND NOT IN DIRECT CONTACT WITH THE GROUND TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION:

DATE OF INSPECTION _____

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

GSWCC LEVEL II DESIGN PROFESSIONAL _____ CERTIFICATION # _____

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN.

THESE DISCREPANCIES MUST BE ADDRESS IMMEDIATELY AND A REINSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON SITE UNTIL THE DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

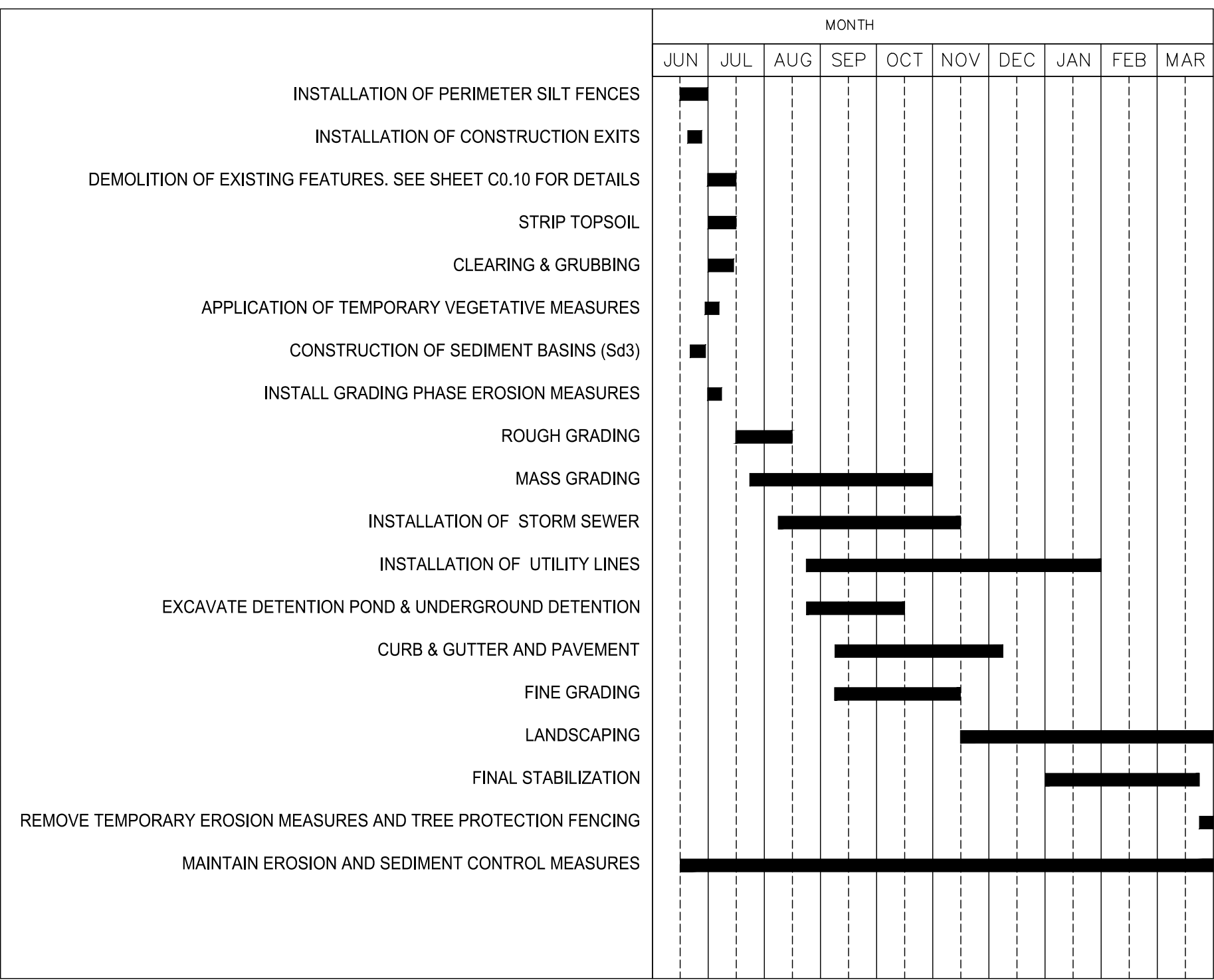
APPENDIX B

Nephelometric Turbidity Unit (NTU) TABLES

		Cold Water (Trout Stream)							
		Surface Water Drainage Area, square miles							
Site Size, acres		0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
	1.00-10		25	50	75	150	300	500	500
10.01-25		25	25	50	75	150	200	500	500
25.01-50		25	25	25	50	75	100	300	500
50.01-100		20	25	25	35	59	75	150	300
100.01+		20	20	25	25	25	50	60	100

		Warm Water (Supporting Warm Water Fisheries)							
		Surface Water Drainage Area, square miles							
Site Size, acres		0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
	1.00-10		75	150	200	400	750	750	750
10.01-25		50	100	100	200	300	500	750	750
25.01-50		50	50	100	100	200	300	750	750
50.01-100		50	50	50	100	100	150	300	600
100.01+		50	50	50	50	50	100	200	100

To use these tables, select the size (acres) of the construction site. Then, select the surface water drainage area (square miles). The NTU matrix value arrived at from the above tables is the one to use in Part III.D.4.



ANTICIPATED CONSTRUCTION SCHEDULE
START DATE: 06/2021
END DATE: 03/2021

DESIGNER GSWCC LEVEL II

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

ASATO MASUYAMA, CERTIFIED DESIGN PROFESSIONAL

PRIMARY PERMITTEE / OWNER CONTACT:
BRIAN BORDEN
CITY OF BROOKHAVEN
3360 OSBORNE RD
BROOKHAVEN, GA 30319
PHONE: 404.637.0562

24-HR. EMERGENCY CONTACT:
BRIAN BORDEN - 404.637.0562
BRIAN.BORDEN@BROOKHAVENGA.GOV



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MURPHEY CANDLER TRAIL - SOUTH SITE DEVELOPMENT PLAN

GEORGIA

CITY OF BROOKHAVEN

BROOKHAVEN

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION

PERMIT DRAWINGS

SHEET TITLE

ESPC NOTES

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY	SCALE N.T.S.
CHECKED BY	
SHEET NO.	

0:20/2023/10/10 Brookhaven, GA Murphey Candler Trail - South Site Development Plan - ES&PC - 10/10/2023 11:13:14 AM

STRUCTURAL GENERAL NOTES

DESIGN AND CODE INFORMATION

1. All construction shall conform to the 2018 INTERNATIONAL BUILDING CODE with 2020 GEORGIA STATE AMENDMENTS.
2. Verify existing conditions and dimensions. Immediately notify the engineer of record of any conditions which do not comply with plans and specifications. Structural drawings shall be coordinated with the civil drawings.
3. Contract documents shall not be reproduced for use as shop drawings.
4. The design adequacy of all temporary bracing and shoring is the sole responsibility of the contractor.
5. Refer to architectural, mechanical, plumbing, electrical, and civil drawings for locations of miscellaneous items (openings, bent plates, inserts, etc.) affecting structural work.
6. **DEAD LOADS**
 - 6.1. Boardwalk:
 - 6.1.1. Selfweight
 - 6.1.2. Miscellaneous: 5 psf
 - 6.2. Pedestrian Bridge
 - 6.2.1. Selfweight
7. **LIVE LOADS**
 - 7.1. Bridge: 125 psf
 - 7.2. Boardwalk: 100 psf
 - 7.3. Wall surcharge load – plazas: 100 psf
 - 7.4. Observation platforms: 100 psf
 - 7.5. Boardwalk Handrails (Design & detailing by others):
 - 7.5.1. Uniform Load: 50 plf in any direction
 - 7.5.2. Concentrated Load: 200 lb at any point in any direction
8. **WIND DATA** (per ASCE 7-16):
 - 8.1. Basic Wind Speed (3-sec gust): Vult = 106 mph Vasd = 90 mph
 - 8.2. Risk Category: II
 - 8.3. Exposure Category: B
9. **SEISMIC DATA** (per ASCE 7-10):
 - 9.1. Risk Category: II
 - 9.2. Importance Factor: I = 1.0
 - 9.3. Mapped Spectral Response Accelerations:
 - 9.3.1. $S_s = 0.198$
 - 9.3.2. $S_1 = 0.092$
 - 9.4. Site Class: D
 - 9.5. Spectral Response Coefficients:
 - 9.5.1. $S_{ds} = 0.211$
 - 9.5.2. $S_{d1} = 0.148$
 - 9.6. Seismic Design Category: C
 - 9.7. Basic Seismic Force Resisting System
 - 9.7.1. Bridges: Inverted Pendulum Structure
 - 9.7.2. Boardwalks: Braced Wood Frames
 - 9.8. Response Modification Coefficient:
 - 9.8.1. Bridge: R = 2.0
 - 9.8.2. Boardwalk: R = 1.5
 - 9.9. Seismic Response Coefficient,
 - 9.9.1. Bridge: $C_s = 0.1408$
 - 9.9.2. Boardwalk: $C_s = 0.1408$
 - 9.10. Base Shear:
 - 9.10.1. Bridge:
 - 9.10.1.1. Total = 125.3 kips
 - 9.10.1.2. Ea Pier = 23.3 kips, maximum
 - 9.10.2. Boardwalk: 3.38 kips

SPECIAL INSPECTIONS AND TESTING

1. Boardwalk: Special Inspections not required.
2. Retaining Walls: Inspections not required per local Code
3. Pedestrian Bridge: Refer to sheet S3.02 for Special Inspections Requirements

STRUCTURAL OBSERVATIONS

1. The Structural Engineer of Record has not been employed to perform periodic visual observation of the structures during construction for general conformance to the contract design drawings.

FOUNDATION NOTES

1. The foundation design is based the following assumptions.
2. Contractor shall thoroughly read and understand the recommendations contained in the geotechnical report prior to start of construction. The report requires remedial work to be done to some areas of the subgrade prior to construction of the structures' foundations.
3. Footings are designed to bear on uniform soils capable of supporting 3000 psf. Design assume differential and total settlements are within accepted tolerances for the type of construction used.
4. The soil bearing capacity and consistency shall be verified for the foundation limits by a professional geotechnical engineer registered in the project state when the foundation excavations have been carried down to the proposed elevations. The bottom of all footings shall be a minimum of 2'-0" below finished grade.
5. Where footing excavations are to remain open and may be exposed to rainfall, the excavations shall be undercut and a 3 inch thick mud mat of 2000 psi concrete shall be placed in the bottom to protect the soils.

BOARDWALK BENTS & BRACING DESIGN NOTES:

1. All wood shall be pressure treated & rated for ground contact.
2. Minimum design loads:
 - 2.1. Dead – structure selfweight + 5 psf
 - 2.2. Live – 100 psf
 - 2.3. Wind – Calculated per ASCE 7-10
 - 2.4. Seismic – Calculated per ASCE 7-10

REINFORCED CONCRETE

1. The design of all concrete work shall conform to ACI 318-14 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. Reinforcing steel shall be deformed bars meeting the requirements of ASTM A615, Grade 60.
3. The 28-day compressive strength of all cast-in-place concrete shall be:
 - 3.1. Boardwalks' footings – 3000 psi
 - 3.2. Bridge abutments, foundations – 4000 psi
 - 3.3. Walls, piers, beams – 4000 psi
 - 3.4. Site concrete – see Civil Drawings
4. All concrete shall be air-entrained.
5. Lap splices for reinforcing bars shall be as follows per ACI 318-11:

BAR SIZE	STD LAP	1.3 x STD LAP
4	24"	32"
5	32"	40"
6	37"	48"
7	54"	70"
8	62"	80"
9	70"	92"

Use Std Lap lengths except when horizontal reinforcing has more than 12" of fresh concrete cast below it, then use 1.3 x Std Lap lengths.

6. Clear concrete cover for reinforcing steel shall be:
 - 6.1. Footings cast against soil or rock – 3"
 - 6.2. Footing cast against forms – 2"
 - 6.3. Walls – 2"
7. Longitudinal reinforcing in footings and walls shall be continuous around corners.
8. Mechanical vibrators shall be used to vibrate all concrete.
9. Chamfer exposed corners of walls 3/4".
10. Exposed faces of bridge abutment walls shall be formed with form liners as specified by the owner.
11. Concrete shall be sampled and tested in accordance with project specifications. A copy of all concrete compressive strength tests

reports shall be kept at the job site at all times for review by the inspector.

LUMBER FRAMING

1. All framing members shall be Southern Yellow Pine, 19% moisture content unless otherwise noted, and the following grades:
 - 1.1. 2x members: No. 2
 - 1.2. 4x6, 6x6 members: Select Structural
2. All framing members shall be pressure treated, rated for ground contact.
3. All metal connectors shall be manufactured by Simpson Strong-Tie, Inc. or equivalent.
4. All screws used in wood connections shall be 'SDWS' screws as manufactured by Simpson Strong-Tie.
5. All bolts shall meet the requirements of ASTM A307 or F1554.
6. All metal connectors, screws, bolts, nuts, washers, etc., shall be hot dipped galvanized. All Simpson products shall be either hot dipped galvanized or have a Z-MAX coating.



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 (615) 781-4088
 EMC Project No. 21346



MURPHEY CANDLER TRAIL - SOUTH
 SITE DEVELOPMENT PLANS
 CITY OF BROOKHAVEN

GEORGIA

BROOKHAVEN

SUBMITTALS/REVISIONS

NO.	DATE	DESCRIPTION

PERMIT SET

SHEET TITLE

STRUCTURAL GENERAL NOTES

PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE
CHECKED BY EMC	
SHEET NO.	

S0.01

STRUCTURAL SPECIAL INSPECTION SCHEDULES - PEDESTRIAN BRIDGE:

THE STATEMENT OF SPECIAL INSPECTION IS SUBMITTED AS A CONDITION FOR PERMIT ISSUANCE IN ACCORDANCE WITH THE SPECIAL INSPECTION AND STRUCTURAL TESTING REQUIREMENTS OF THE BUILDING CODE. IT INCLUDES A SCHEDULE OF SPECIAL INSPECTION SERVICES APPLICABLE TO THIS PROJECT.

THE SPECIAL INSPECTOR SHALL KEEP RECORDS OF ALL INSPECTIONS AND SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. DISCOVERED DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF SUCH DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. THE SPECIAL INSPECTION PROGRAM DOES NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITIES.

INTERIM REPORTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.

A FINAL REPORT OF SPECIAL INSPECTIONS DOCUMENTING COMPLETION OF ALL REQUIRED SPECIAL INSPECTION, TESTING, AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY. JOB-SITE SAFETY AND MEAN AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.

SPECIAL INSPECTION SCHEDULE: FABRICATORS			
VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS PROJECT?	FREQUENCY	
		CONTINUOUS	PERIODIC
1. VERIFY FABRICATION AND IMPLEMENTATION PROCEDURES:			
A. STEEL CONSTRUCTION - BRIDGES	N	---	---
B. CONCRETE CONSTRUCTION (INCLUDING REBAR FABRICATION)	N	---	---
C. WOOD CONSTRUCTION	N	---	---
D. COLD-FORMED METAL CONSTRUCTION	N	---	---
E. OTHER CONSTRUCTION	N	---	---

SPECIAL INSPECTION SCHEDULE: SOILS			
VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS PROJECT?	FREQUENCY	
		CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	Y	---	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	Y	---	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS	Y	---	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	Y	X	---
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	Y	---	X

SPECIAL INSPECTION SCHEDULE: CAST-IN-PLACE FOUNDATION ELEMENTS			
VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS PROJECT?	FREQUENCY	
		CONTINUOUS	PERIODIC
1. SPECIAL INSPECTIONS AND VERIFICATIONS FOR CONCRETE FOUNDATION CONSTRUCTION IN ACCORDANCE WITH THE SPECIAL INSPECTION SCHEDULE			
A. ISOLATED SPREAD CONCRETE FOOTINGS	Y	---	X
B. CONTINUOUS CONCRETE FOOTINGS SUPPORTING WALLS	Y	---	X
C. CONCRETE FOUNDATION WALLS	Y	---	X

SPECIAL INSPECTION SCHEDULE: CONCRETE CONSTRUCTION			
VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS PROJECT?	FREQUENCY	
		CONTINUOUS	PERIODIC
1. INSPECTION OF REINFORCING STEEL, INCLUDING PLACEMENT.	Y	X	---
2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH THE SPECIAL INSPECTION SCHEDULE: STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL, ITEM 3.	N	---	---
3. INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED.	Y	---	X
4. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.	Y	---	X
5. VERIFYING USE OF REQUIRED DESIGN MIX.	Y	---	X
6. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	Y	X	---
7. INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	Y	---	X
8. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	Y	---	X
9. INSPECTION OF PRESTRESSED CONCRETE:			
A. APPLICATION OF PRESTRESSING FORCES	N	---	---
B. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM.	N	---	---
10. ERECTION OF PRECAST CONCRETE MEMBERS.	Y	X	---
11. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	N	---	---
12. INSPECT FORMWORK FOR SHAPE, LOCATIONS AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	Y	X	---

LOSE DESIGN
SPACES FOR LIFE.

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EMC Project No. 21346



MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLANS
CITY OF BROOKHAVEN

GEORGIA

BROOKHAVEN

SUBMITTALS/REVISIONS

NO.	DATE	DESCRIPTION

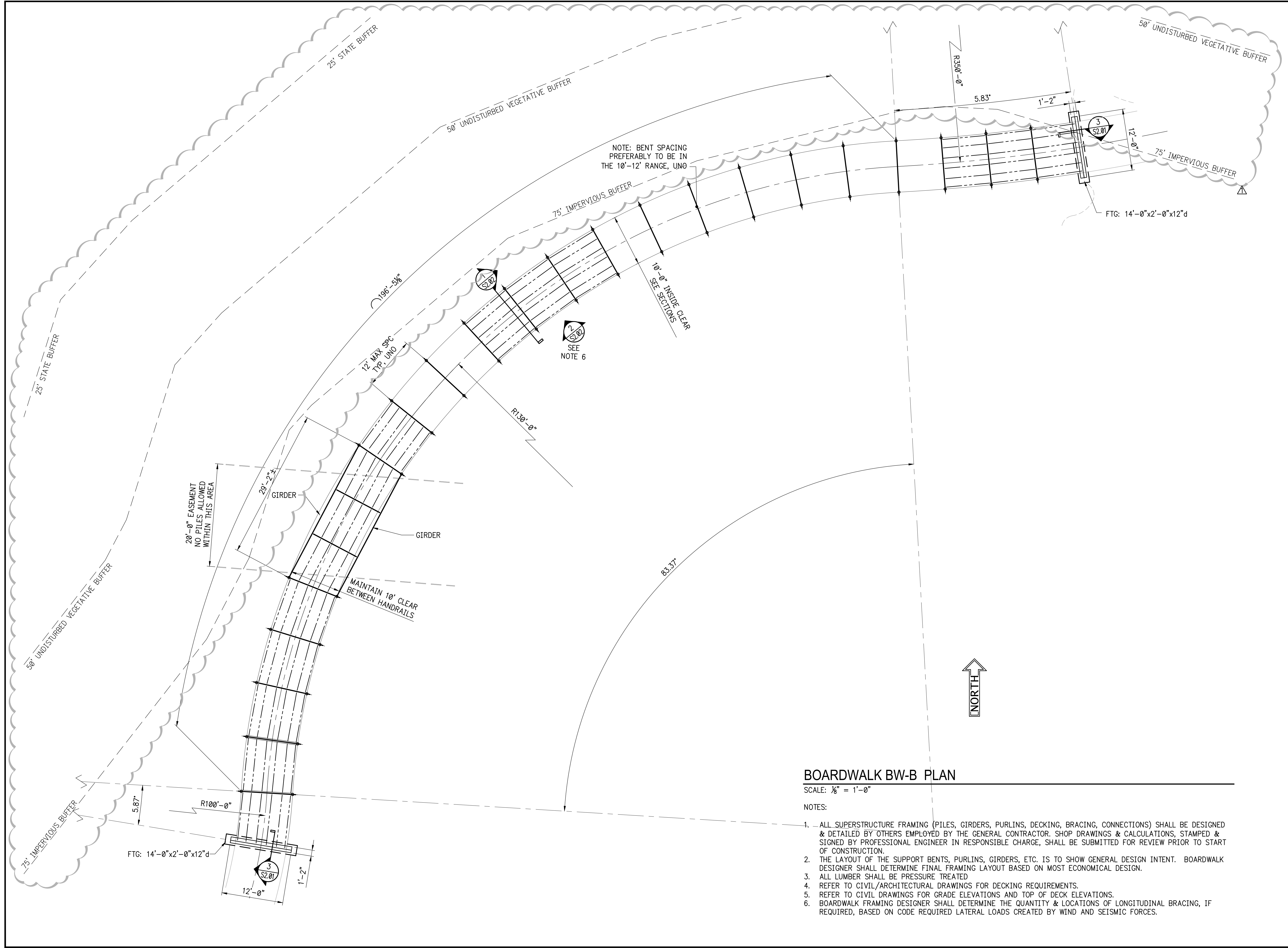
PERMIT SET

SHEET TITLE

STRUCTURAL
SPECIAL INSPECTION
PLAN

PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE
CHECKED BY EMC	
SHEET NO.	

S0.02



NOTE: BENT SPACING PREFERABLY TO BE IN THE 10'-12' RANGE, UNO

SEE NOTE 6

BOARDWALK BW-B PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL SUPERSTRUCTURE FRAMING (PILES, GIRDERS, PURLINS, DECKING, BRACING, CONNECTIONS) SHALL BE DESIGNED & DETAILED BY OTHERS EMPLOYED BY THE GENERAL CONTRACTOR. SHOP DRAWINGS & CALCULATIONS, STAMPED & SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, SHALL BE SUBMITTED FOR REVIEW PRIOR TO START OF CONSTRUCTION.
2. THE LAYOUT OF THE SUPPORT BENTS, PURLINS, GIRDERS, ETC. IS TO SHOW GENERAL DESIGN INTENT. BOARDWALK DESIGNER SHALL DETERMINE FINAL FRAMING LAYOUT BASED ON MOST ECONOMICAL DESIGN.
3. ALL LUMBER SHALL BE PRESSURE TREATED
4. REFER TO CIVIL/ARCHITECTURAL DRAWINGS FOR DECKING REQUIREMENTS.
5. REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND TOP OF DECK ELEVATIONS.
6. BOARDWALK FRAMING DESIGNER SHALL DETERMINE THE QUANTITY & LOCATIONS OF LONGITUDINAL BRACING, IF REQUIRED, BASED ON CODE REQUIRED LATERAL LOADS CREATED BY WIND AND SEISMIC FORCES.

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MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLANS
CITY OF BROOKHAVEN

SUBMITTALS/REVISIONS		
NO.	DATE	DESCRIPTION
1	08.30.2022	PERMIT COMMENTS

PERMIT SET

SHEET TITLE
BOARDWALK BW-B PLAN LAYOUT

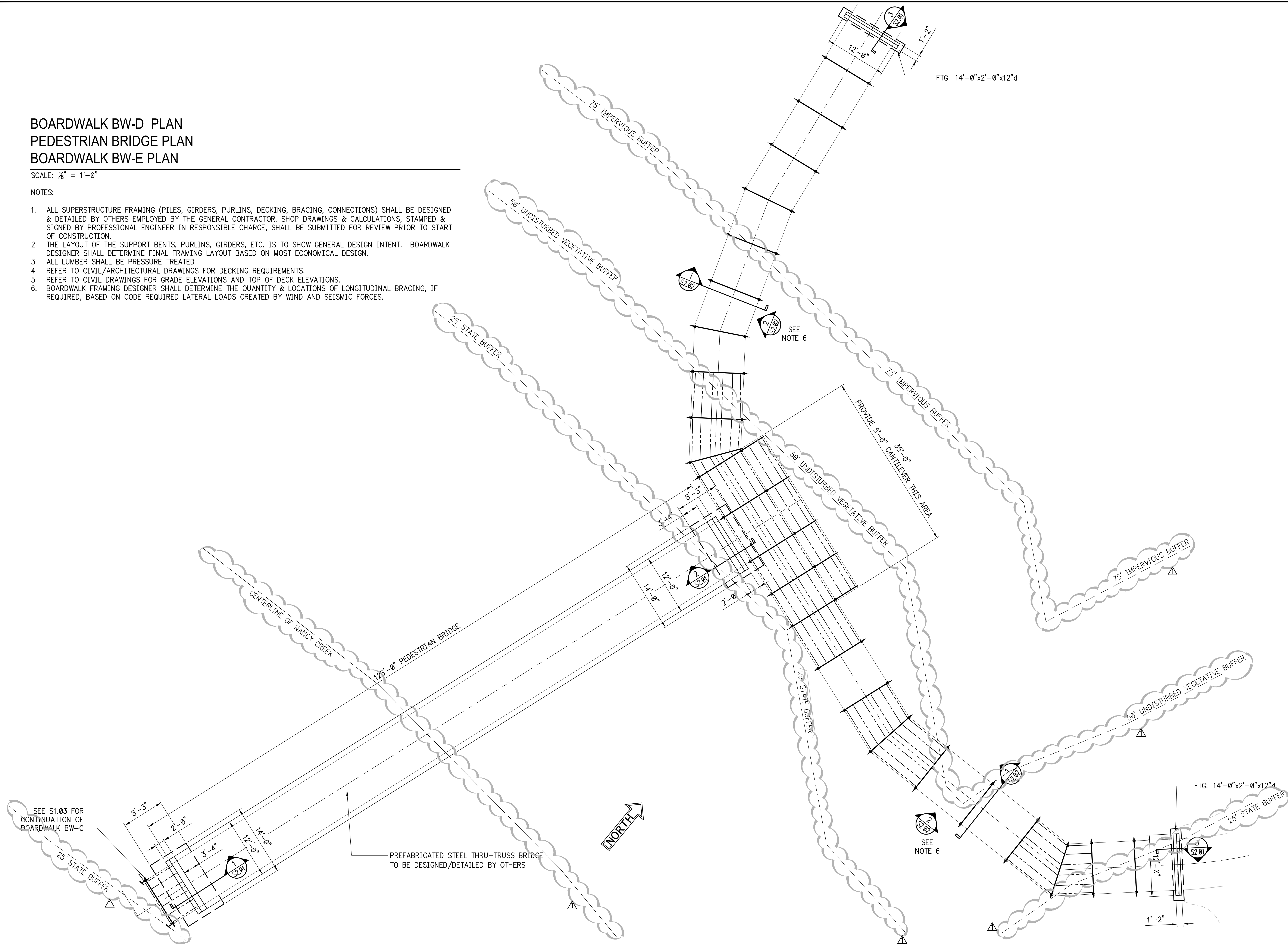
PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE 1/8" = 1'-0"
CHECKED BY EMC	
SHEET NO.	

BOARDWALK BW-D PLAN
 PEDESTRIAN BRIDGE PLAN
 BOARDWALK BW-E PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL SUPERSTRUCTURE FRAMING (PILES, GIRDERS, PURLINS, DECKING, BRACING, CONNECTIONS) SHALL BE DESIGNED & DETAILED BY OTHERS EMPLOYED BY THE GENERAL CONTRACTOR. SHOP DRAWINGS & CALCULATIONS, STAMPED & SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, SHALL BE SUBMITTED FOR REVIEW PRIOR TO START OF CONSTRUCTION.
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5. REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND TOP OF DECK ELEVATIONS.
6. BOARDWALK FRAMING DESIGNER SHALL DETERMINE THE QUANTITY & LOCATIONS OF LONGITUDINAL BRACING, IF REQUIRED, BASED ON CODE REQUIRED LATERAL LOADS CREATED BY WIND AND SEISMIC FORCES.

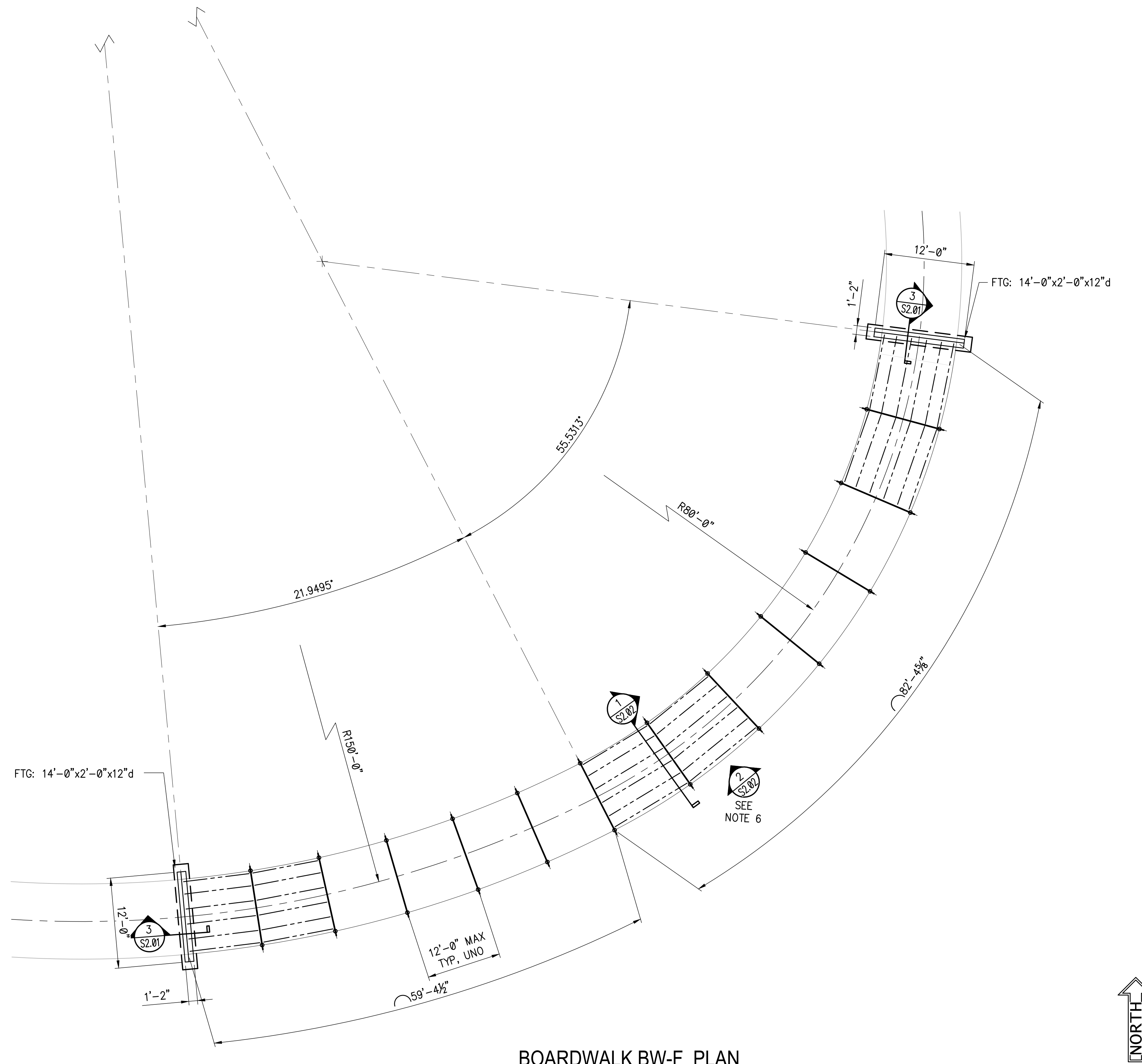


SUBMITTALS/REVISIONS	
NO.	DESCRIPTION
1	PERMIT COMMENTS

NO.	DATE	DESCRIPTION
1	08.30.2022	PERMIT COMMENTS

PERMIT SET
 SHEET TITLE
 BOARDWALK BW-D
 BOARDWALK BW-E
 PEDESTRIAN BRIDGE
 PLAN LAYOUT

PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE 1/8" = 1'-0"
CHECKED BY EMC	
SHEET NO.	



BOARDWALK BW-F PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL SUPERSTRUCTURE FRAMING (PILES, GIRDERS, PURLINS, DECKING, BRACING, CONNECTIONS) SHALL BE DESIGNED & DETAILED BY OTHERS EMPLOYED BY THE GENERAL CONTRACTOR. SHOP DRAWINGS & CALCULATIONS, STAMPED & SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, SHALL BE SUBMITTED FOR REVIEW PRIOR TO START OF CONSTRUCTION.
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3. ALL LUMBER SHALL BE PRESSURE TREATED.
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5. REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND TOP OF DECK ELEVATIONS.
6. BOARDWALK FRAMING DESIGNER SHALL DETERMINE THE QUANTITY & LOCATIONS OF LONGITUDINAL BRACING, IF REQUIRED, BASED ON CODE REQUIRED LATERAL LOADS CREATED BY WIND AND SEISMIC FORCES.

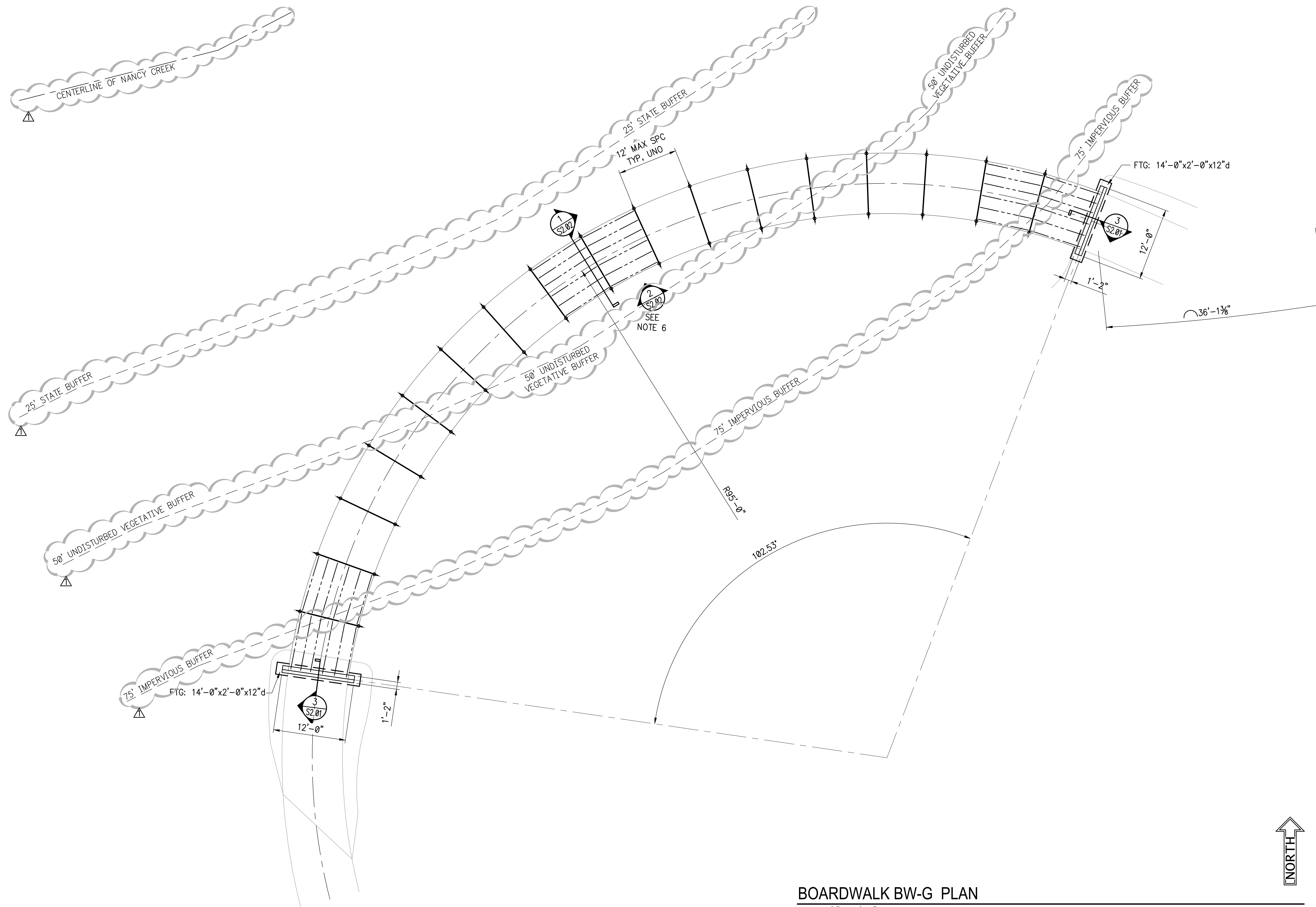
SUBMITTALS/REVISIONS		
NO.	DATE	DESCRIPTION

PERMIT SET

SHEET TITLE
**BOARDWALK BW-F
PLAN LAYOUT**

PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE 1/8" = 1'-0"
CHECKED BY EMC	
SHEET NO.	

S1.05



BOARDWALK BW-G PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL SUPERSTRUCTURE FRAMING (PILES, GIRDERS, PURLINS, DECKING, BRACING, CONNECTIONS) SHALL BE DESIGNED & DETAILED BY OTHERS EMPLOYED BY THE GENERAL CONTRACTOR. SHOP DRAWINGS & CALCULATIONS, STAMPED & SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, SHALL BE SUBMITTED FOR REVIEW PRIOR TO START OF CONSTRUCTION.
2. THE LAYOUT OF THE SUPPORT BENTS, PURLINS, GIRDERS, ETC. IS TO SHOW GENERAL DESIGN INTENT. BOARDWALK DESIGNER SHALL DETERMINE FINAL FRAMING LAYOUT BASED ON MOST ECONOMICAL DESIGN.
3. ALL LUMBER SHALL BE PRESSURE TREATED
4. REFER TO CIVIL/ARCHITECTURAL DRAWINGS FOR DECKING REQUIREMENTS.
5. REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND TOP OF DECK ELEVATIONS.
6. BOARDWALK FRAMING DESIGNER SHALL DETERMINE THE QUANTITY & LOCATIONS OF LONGITUDINAL BRACING, IF REQUIRED, BASED ON CODE REQUIRED LATERAL LOADS CREATED BY WIND AND SEISMIC FORCES.

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MURPHEY CANDLER TRAIL - SOUTH
SITE DEVELOPMENT PLANS
CITY OF BROOKHAVEN
BROOKHAVEN
GEORGIA

SUBMITTALS/REVISIONS		
NO.	DATE	DESCRIPTION
1	08.30.2022	PERMIT COMMENTS

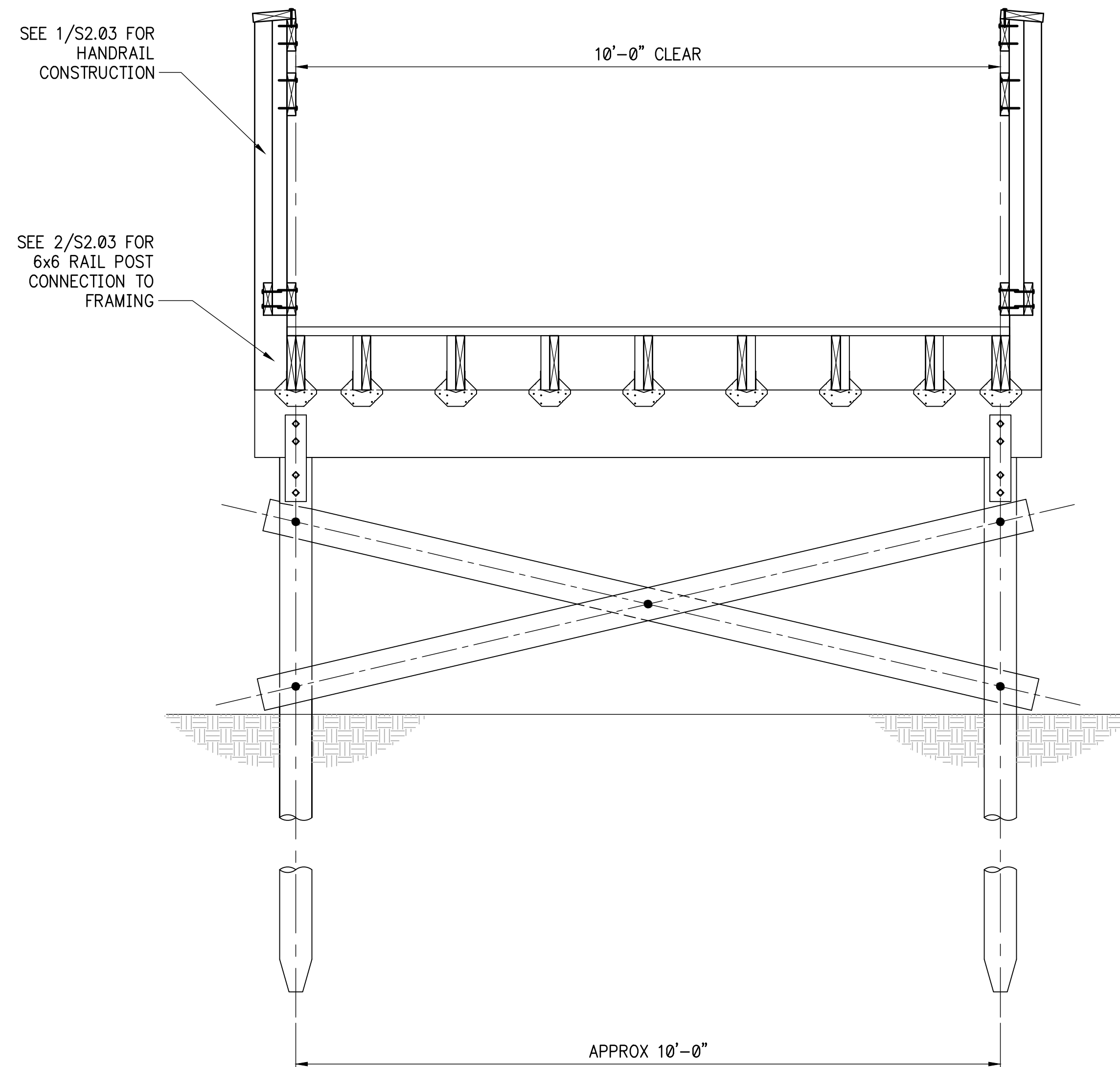
PERMIT SET
SHEET TITLE
**BOARDWALK BW-G
PLAN LAYOUT**

PROJECT NO. 21031	DATE 02/04/2022
DRAWN BY EMC	SCALE 1/8" = 1'-0"
CHECKED BY EMC	
SHEET NO.	

S1.06

ALL ALL WOOD SHALL BE PRESSURE TREATED, RATED FOR GROUND CONTACT.

ALL METAL HARDWARE (BOLTS, THREADED RODS, NUTS, WASHERS, ETC.) SHALL BE HOT DIPPED GALVANIZED. ALL SIMPSON PRODUCTS SHALL HAVE A ZMAX COATING, OR SHALL BE HOT DIPPED GALVANIZED



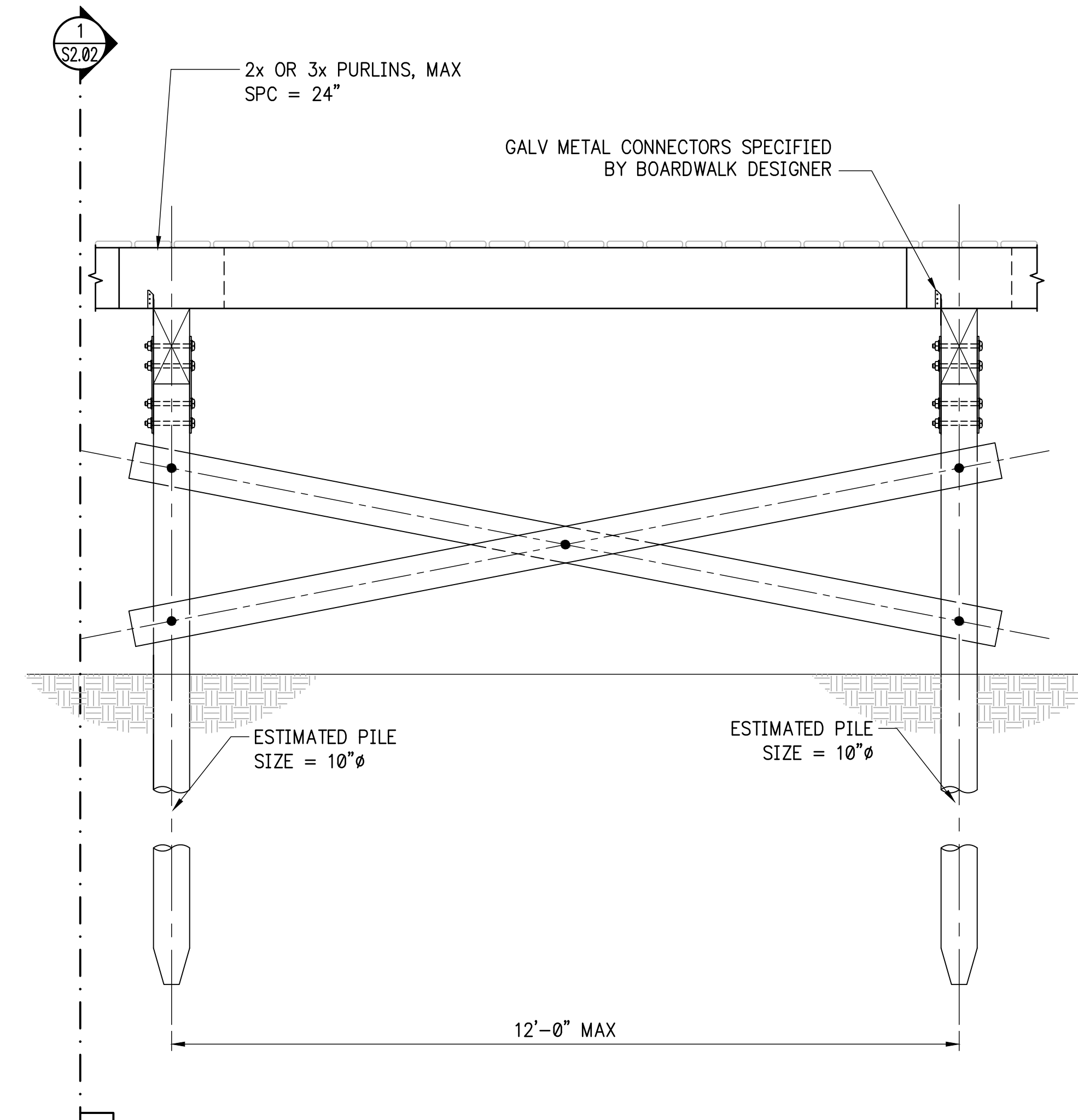
BOARDWALK BENTS & BRACING DESIGN NOTES:

- THE DESIGN OF THE BOARDWALK SUPERSTRUCTURE (DECKING, PURLINS, GIRDERS, PILES, AND DIAGONAL BRACING, INCLUDING ALL CONNECTIONS ARE THE RESPONSIBILITY OF OTHERS, EMPLOYED BY THE CONTRACTOR.
- ALL WOOD SHALL BE PRESSURE TREATED & RATED FOR GROUND CONTACT.
- PILES SHALL BE INSTALLED BY VIBRATORY MEANS. DESIGN OF EMBEDMENT LENGTH REQUIREMENTS SHALL ACCOUNT FOR ALL GRAVITY LOADS (DEAD, LIVE, SNOW), WIND LOADS, AND SEISMIC LOADS.
- MINIMUM DESIGN LOADS:
 - DEAD - STRUCTURE SELFWEIGHT + 5 PSF
 - LIVE - 100 PSF
 - WIND - SEE SHEET S4.01-DESIGN & CODE INFORMATION, ITEM 8.
 - SEISMIC - SEE SHEET S4.01-DESIGN & CODE INFORMATION, ITEM 9.
- CALCULATIONS FOR ALL BENT DESIGNS (GIDERS, PILES, BRACING, CONNECTIONS) SHALL BE SUBMITTED FOR REVIEW BY EOR. CALCULATIONS SHALL BE STAMPED AND SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, AND REGISTERED IN THE PROJECT STATE.
- A PROFESSIONAL GEOTECHNICAL ENGINEER SHALL BE EMPLOYED TO DETERMINE THE SOIL DESIGN PARAMETERS TO BE USED IN DETERMINING THE VERTICAL AND LATERAL LOAD CAPACITIES OF THE PILES

1 ELEVATION - TYPICAL BOARDWALK BENT
SCALE: 3/4" = 1'-0"

ALL ALL WOOD SHALL BE PRESSURE TREATED, RATED FOR GROUND CONTACT.

ALL METAL HARDWARE (BOLTS, THREADED RODS, NUTS, WASHERS, ETC.) SHALL BE HOT DIPPED GALVANIZED. ALL SIMPSON PRODUCTS SHALL HAVE A ZMAX COATING, OR SHALL BE HOT DIPPED GALVANIZED



BOARDWALK BENTS & BRACING DESIGN NOTES:

- THE DESIGN OF THE BOARDWALK SUPERSTRUCTURE (DECKING, PURLINS, GIRDERS, PILES, AND DIAGONAL BRACING, INCLUDING ALL CONNECTIONS ARE THE RESPONSIBILITY OF OTHERS, EMPLOYED BY THE CONTRACTOR.
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- MINIMUM DESIGN LOADS:
 - DEAD - STRUCTURE SELFWEIGHT + 5 PSF
 - LIVE - 100 PSF
 - WIND - SEE SHEET S4.01-DESIGN & CODE INFORMATION, ITEM 8.
 - SEISMIC - SEE SHEET S4.01-DESIGN & CODE INFORMATION, ITEM 9.
- CALCULATIONS FOR ALL BENT DESIGNS (GIDERS, PILES, BRACING, CONNECTIONS) SHALL BE SUBMITTED FOR REVIEW BY EOR. CALCULATIONS SHALL BE STAMPED AND SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, AND REGISTERED IN THE PROJECT STATE.
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2 ELEVATION - BOARDWALK LONGITUDINAL BRACING
SCALE: 3/4" = 1'-0"

SUBMITTALS/REVISIONS

NO.	DATE	DESCRIPTION
A1	03/05/2021	ADDENDUM NO. 1

PERMIT SET

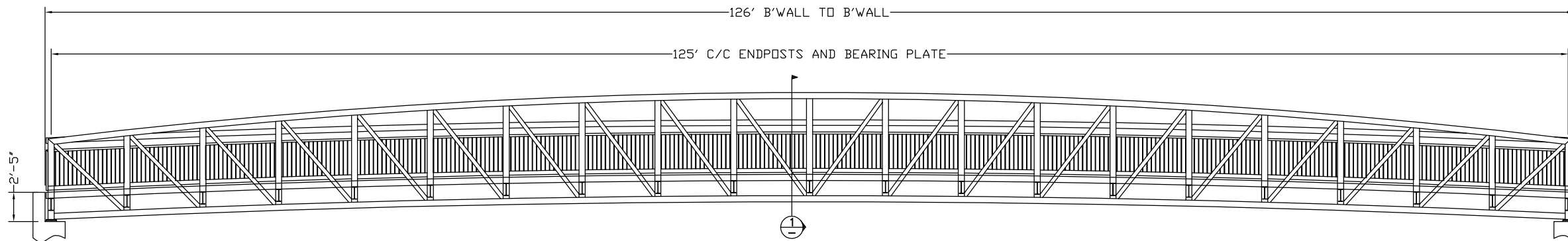
SHEET TITLE

BOARDWALKS
SECTIONS AND
DETAILS

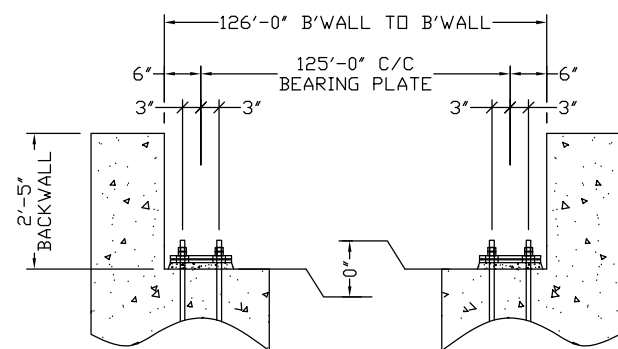
PROJECT NO. 21031	DATE 02/04/2022
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SHEET NO.	

DESIGN CRITERIA

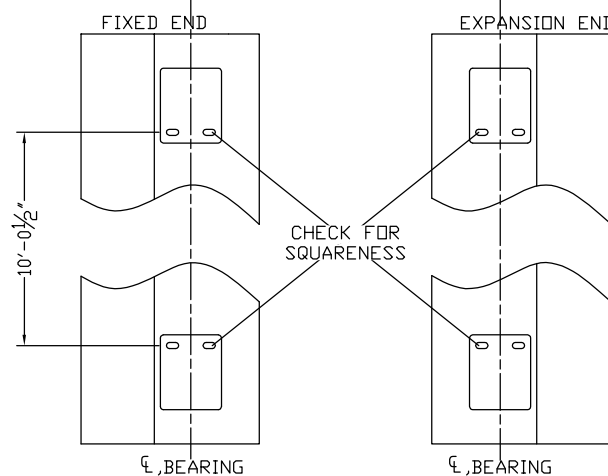
THIS BRIDGE IS DESIGNED BASED ON THE FOLLOWING CRITERIA:
 1. DEAD LOAD OF 107 PSF PLUS EVENLY DISTRIBUTED LIVE LOAD OF 90 PSF.
 2. DEAD LOAD PLUS CONCENTRATED LIVE LOAD OF 10,000 POUNDS.
 3. WIND LOAD OF 35 PSF CALCULATED ON THE ENTIRE PROJECTED VERTICAL SURFACE AS THOUGH FULLY ENCLOSED PER AASHTO.



SIDE ELEVATION VIEW



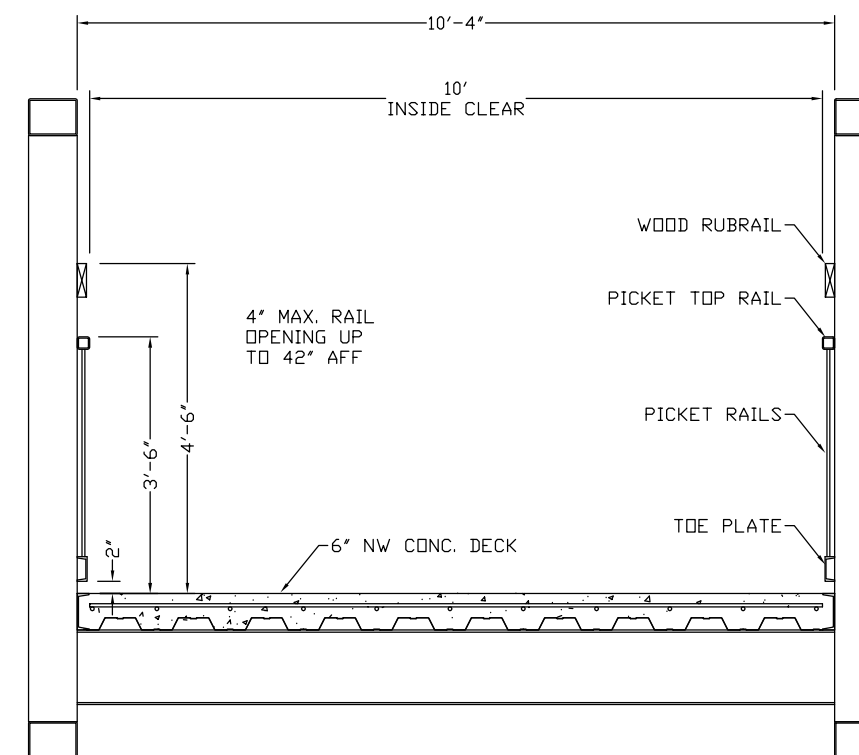
FOUNDATION SIDE ELEVATION



FOUNDATION PLAN VIEW

UNFACTORED ABUTMENT REACTIONS
 (EXCLUDES IMPACT)
 VERT. DL = 66.9 KIPS
 VERT. LL = 56.3 KIPS
 HORIZ. (WIND) = 18.4 KIPS
 THERMAL LONG. = 13.4 KIPS
 NET UPLIFT (WIND) AT ONE BP = NONE
 NET FACTORED UPLIFT = NONE

*NOTE: DIMENSIONS AND REACTIONS ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN.



SECTION 1

PRELIMINARY NOT FOR CONSTRUCTION

PI	PRELIMINARY DRAWING	AF 2/4/22	KW 2/4/22
REV	DESCRIPTION	BY/DATE	CHECKED BY
		A DIVISION OF BAILEY BRIDGES, INC. 119 40th Street NE Fort Payne, AL 35967 1-866-708-5778	
PROJECT: MURPHY CANDLER PARK PED. BRIDGE		DRAWN BY: AF	
ADDRESS: BROOKHAVEN, GA		APPROVED BY:	
		CHECKED BY: KW	
DESCRIPTION: 10'x125' CORNERSTONE PEDESTRIAN BRIDGE			
THIS BRIDGE STRUCTURE SHALL NOT BE FIELD MODIFIED IN ANY WAY WITHOUT THE CONSENT AND APPROVAL OF PIONEER BRIDGES. THESE DRAWINGS ARE THE PROPERTY OF PIONEER BRIDGES AND ARE NOT TO BE COPIED OR USED IN ANY MANNER DETRIMENTAL WITHOUT THEIR WRITTEN CONSENT.			

APPROVED PLAN 09/26/2023
 Permit # LP22-00612