

CITY OF BROOKHAVEN FLOODPLAIN NOTES THE FLOOD ZONE AE SHOWN HEREON ARE BASED ON THE DEKALB COUNTY COMMUNITY PANELS (FIRM 13089C0014K). 2. THE BASE FLOOD (IRF) ELEVATIONS SHOWN HEREON ARE BASED ON THE FLOOD ELEVATION STUDY BY LOSE DESIGN. 3. ALL CONSTRUCTION INCLUDING GRADING AND FILLING WITHIN THE FLOODPLAIN SHOWN HEREON SHALL BE IN CONFORMANCE WITH THE BROOKHAVEN FLOODPLAIN ORDINANCE. 4. ALL CUT AND FILL WITHIN THE FLOODPLAIN SHALL BE FIELD VERIFIED AND CERTIFIED BY A PROFESSIONAL ENGINEER. 5. ALL INTERMEDIATE REGIONAL FLOODPLAIN SHALL BE FIELD LOCATED AND STAKED PRIOR TO ENCROACHMENT WITHIN THEM. SUCH LOCATION SHALL B MAINTAINED CLEAR AND VISIBLE THROUGHOUT CONSTRUCTION AND FINA APPROVAL

FLOODPLAIN:

A. THE CONTRACTOR SHALL RESTORE THE FLOODPLAIN TO THE ORIGINAL CONDITION AND GRADE IMMEDIATELY UPON COMPLETION B. UPON COMPLETION OF RESTORATION, A PROFESSIONAL ENGINEER SHALL CERTIFY IN WRITING TO THE COMMUNITY DEVELOPMENT DEPARTMENT THAT ALL WORK IS COMPLETE AND THE FLOODPLAIN RESTORED 7. WHEN ANY CONSTRUCTION BORDERS A FLOODPLAIN A. THE CONTRACTOR SHALL RESTORE THE FLOODPLAIN TO THE

ORIGINAL CONDITION AND GRADE IMMEDIATELY UPON COMPLETION B. UPON COMPLETION OF RESTORATION, A PROFESSIONAL ENGINEE SHALL CERTIFY IN WRITING TO THE COMMUNITY DEVELOPMENT DEPARTMENT THAT ALL WORK IS COMPLETE AND THE FLOODPLAIN

RESTORED 8. THE LOWEST FLOOR ELEVATION INCLUDES BASEMENT AND ATTACHED GARAGE AND SHALL BE A MINIMUM OF 3 FEET ABOVE THE 100 YEAR STORM ELEVATION.

# PERMIT DRAWINGS

# **MURPHEY CANDLER TRAIL - SOUTH**

# SITE DEVELOPMENT PLAN

PREPARED FOR: CITY OF BROOKHAVEN

APPROVED FIRE MARSHAL E. Burge Joe Burge

# **OWNERS CITY OF BROOKHAVEN** 4362 PEACHTREE RD

BROOKHAVEN, GA 30319 **CONTACT: KAREN OWENS** 404.637.0500

# DEVELOPER

**CITY OF BROOKHAVEN** PARKS AND RECREATION DEPARTMENT 3360 OSBORNE ROAD, NE BROOKHAVEN, GA 30319 CONTACT: KAREN OWENS, DIRECTOR 404.637.0500

# DESIGNER

LOSE DESIGN

LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL **ENGINEERING/PLANNING** 

> 220 WEST CROGAN STREET, SUITE 100 LAWRENCEVILLE, GEORGIA 30046 PHONE: 770-338-0017 CONTACT: AARON ST. PIERRE

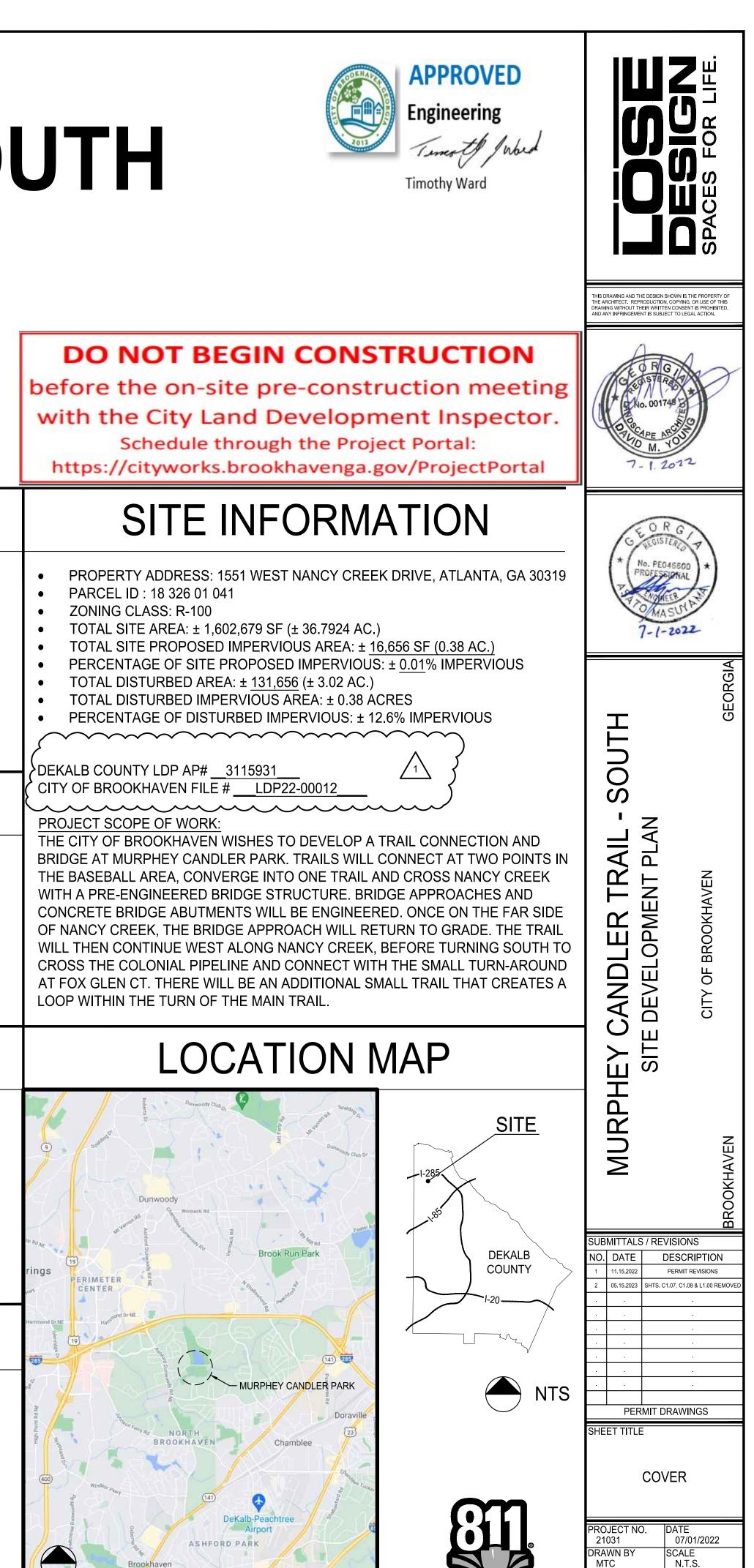
# CONSULTANTS

**SURVEYOR** TERRA MARK LAND SURVEYING, INC. 1396 BELLS FERRY ROAD MARIETTA, GEORGIA 30066 PHONE: 770-421-1927

STRUCTURAL ENGINEER

EMC STRUCTURAL ENGINEER, PC 4525 TROUSDALE DR. NASHVILLE, TENNESSEE 37204 PHONE: 615-781-8199

6. WHEN UTILITY (STORM DRAINS, SEWER, ETC.) CONSTRUCTION IS WITHIN



Call before you dig. C0.00

CHECKED BY

SHEET NO.

DMY

Know what's **below**.

## GENERAL NOTES

- 1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS, LEVELS, PLAN ELEVATIONS, INVERTS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME. REMEDIAL WORK RESULTING
- FROM LACK OF VERIFICATION WILL BE AT CONTRACTOR'S SOLE EXPENSE. 2. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS/HER WORK, AND
- SHALL BEAR THE COST OF REPLACING SAME. 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND PLANS, FTC
- 4. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY
- 5. THE SITE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS. 6. UPON RECEIPT OF POINT COORDINATE DATA, THE CONTRACTOR SHALL RUN AN
- INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH GIVEN POINTS TO CONFIRM GEOMETRIC DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION. 7. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON
- FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES
- 9. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE/SHE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, WATER MAINS, SEWERS, BLASTING, PUBLIC STRUCTURES, ETC.
- 10. THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE WORK IS ENTIRELY AT THE CONTRACTOR'S RISK UNTIL SITE IS ACCEPTED, AND THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR PROTECTION OF THE PROJECT AND PUBLIC SAFETY. THE CONTRACTOR WILL INDEMNIFY THE OWNER AND LOSE & ASSOCIATES, INC. FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- 11. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON SITE SURVEY PROVIDED BY OTHERS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 12. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS OR OTHER DEVICES SOLELY AT THE DETERMINATION OF THE CONTRACTOR.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY THE CONTRACTOR, SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF THEIR EMPLOYEES.
- 14. ALL PAY ITEMS HAVE BEEN EXPLICITLY SET FORTH AS SUCH IN THE PROPOSAL. ALL OTHER ITEMS OF COST ARE TO BE INCLUDED IN THE PRICE OF THE ITEMS ACTUALLY BID UPON
- 15. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.
- 16. THE CONTRACTOR SHALL PROVIDE SUCH BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR EMPLOYEES AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STATUTES AND RULES REQUIRING CERTAIN PROTECTIVE PERSONAL APPAREL SUCH AS HARD HATS, EAR PLUGS, EYE SHIELDS, PROTECTIVE SHOES, ETC. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY OR LIABILITY FOR ACTIONS TAKEN BY THE CONTRACTOR WHICH ENDANGER LIFE OR PROPERTY.
- 17. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS, NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- 18. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE LAND OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- 19. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- 20. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- 21. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER
- 22. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE.
- 23. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION.
- 24. THE CONTRACTOR SHALL COORDINATE ALL ROAD CLOSURES, EXCAVATIONS, ETC. WITH LOCAL JURISDICTIONS. ALL TEMPORARY LANE CLOSURES, EXCAVATIONS, BORINGS, TRAFFIC CONTROL, ETC. SHALL BE DONE IN COMPLIANCE WITH LOCAL REQUIREMENTS. 25. THE CONTRACTOR SHALL PERFORM ALL QUANTITY TAKEOFFS REQUIRED FOR BIDDING
- AND CONSTRUCTION OF THIS PROJECT. LOSE AND ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY NOR LIABILITY FOR QUANTITY TAKEOFFS PERFORMED FOR THIS PROJECT.

### DEMOLITION

- 1. DEMOLITION INCLUDES THE FOLLOWING WITHIN THE PROPERTY LINES:
- 1.1. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE). 1.2 PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS
- REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS. 1.3
- DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES 1.4 IN PLACE (WHICHEVER IS APPLICABLE).

### **DEMOLITION (CONT.)**

ALL DEMOLISHED MATERIALS (EXCLUDING FOREIGN ITEMS AS LISTED IN 'GENERAL') BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED BY THE

- OWNER'S REP. DISPOSE OF OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST 3. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, ETC., THAT ARE REMOVED SHALL BE REMOVED TO FULL DEPTH. ALL PAVEMENT, SIDEWALK, AND CURB SHALL BE SAW CUT IN
- ORDER TO OBTAIN NEAT LINES AND SMOOTH TRANSITIONS TO NEW SURFACES. 4. ALL ITEMS OF CONSTRUCTION REMAINING AND NOT SPECIFICALLY MENTIONED THAT
- INTERFERES WITH THE NEW CONSTRUCTION SHALL BE REMOVED AS DIRECTED BY THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.
- 5. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, TREES, UTILITIES, AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE WILL BE REPAIRED TO LOCAL STANDARDS AT NO ADDITIONAL COST TO THE OWNER.
- 6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY
- FOR DEMOLITION PURPOSES AND ONLY WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- 8. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED.
- 10. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE
- BEEN COMPLETED AND VERIFIED IN WRITING. 11. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
- 12. REMOVE, REINSTALL, AND RELOCATE: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
- 13. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE ENGINEER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
- 14. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 15. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE CONSTRUCTION/PROJECT MANAGER INCLUDING THE FOLLOWING:
- 15.1. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, INCLUSIVE OF STARTING AND ENDING DATES FOR EACH ACTIVITY. DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES. 15.2.
- 15.3. IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS. 16. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM
- AGAINST DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS. 16.1. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES.
- 17. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING THE SITE.
- 17.1. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES. 17.2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE
- VERIFIED BY CONTRACTOR. LOSE & ASSOCIATES, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES INDICATED ON THE CONSTRUCTION DOCUMENTS. VERIFY LOCATION OF EXISTING UTILITIES AND EXERCISE EVERY PRECAUTION WHEN WORKING ON OR NEAR THESE AREAS TO AVOID DAMAGE TO THESE EXISTING FACILITIES. UTILITY LINES MAY BE ENCOUNTERED IN EXCAVATION THAT WERE NOT KNOWN OR SHOWN TO EXIST, SO CAUTION SHALL BE TAKEN IN ALL EXCAVATIONS. ACTIVE OR INACTIVE UTILITIES ENCOUNTERED BY THE CONTRACTOR SHALL BE HANDLED IN ACCORDANCE WITH THE REQUIREMENTS OR THE UTILITY COMPANIES.
- 18. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE
- AROUND DEMOLITION AREA. 18.1. ERECT TEMPORARY PROTECTION, BARRICADES AS PER LOCAL GOVERNING AUTHORITIES.
- 18.2. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN. 19. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED 20. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON
- ADJACENT SURFACES AND AREAS. 21. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY
- DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- 22. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST.
- 23. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- 24. BURNING: DO NOT BURN DEMOLISHED MATERIALS. 25. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH EXISTING FACILITIES.
- 25.1. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- 25.2. PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS OR OTHER PROTECTIONS TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED.

## **CLEARING & GRUBBING**

- 1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- 2. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE CROSSED BY HEAVY
- EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS. 3. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- 4. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST TREES TO REMAIN.
- 5. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. WITHIN CLEARING LIMITS AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- 6. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK. 7. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION
- DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING OPERATIONS.
- 8. CONTRACTOR TO STAKE TRAIL CENTERLINES (WHEN APPROPRIATE) & LIMITS OF CLEARING FOR REVIEW BY LOSE & ASSOCIATES, INC. PRIOR TO BEGINNING CLEARING OPERATIONS; TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES.
- 9. SEE SPECIFICATIONS FOR TREE CLEARING REQUIREMENTS AND PENALTIES FOR DAMAGES TO TREES DESIGNATED TO REMAIN. 10. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 14 CALENDAR DAYS
- PER STATE PERMITS.

## **EXISTING UTILITIES**

- 1. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LOSE & ASSOCIATES, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 TO HAVE EXISTING UTILITIES MARKED
- 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE
- AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. 3. LOSE & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE SURVEY INFORMATION PROVIDED BY OTHERS.

#### DEVELOPMENT

- 1. NOTIFY OWNER AND LOSE & ASSOCIATES, INC. AT 50, 95, AND 100 PERCENT COMPLETION
- OF EVERY PHASE OF CONSTRUCTION 2. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING

AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE. 3. ALL CONSTRUCTION TO COMPLY WITH LOCAL/COUNTY ZONING AND CODES STANDARDS AND STATE OF TENNESSEE STORMWATER REGULATIONS.

## GRADING

- 1. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL.
- 2. UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS, COVERED WITH TOPSOIL, AND VEGETATED PER DRAWINGS. 3. FILL AREAS SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND.
- RECOMPACTION OF THESE SOILS TO 98 PERCENT MAXIMUM DRY DENSITY (AS PER ASTM D698 STANDARD PROCTOR) WILL BE ALLOWED, UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER. 4. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME
- MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RECOMPACTED TO 98 PERCENT MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- 5. CONFIRMATION OF ALL COMPACTION REQUIREMENTS SHALL BE CONFIRMED BY A QUALIFIED SOILS ENGINEER. SEE SPECIFICATION FOR SOIL COMPACTION RATES.
- 6. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES. 7. ALL AREAS WILL BE GRADED TO PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER.
- 8. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION. 9. GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 14 CALENDAR
- DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION. 10. ALL GRADING OPERATIONS SHALL BE COMPLETED IN COMPLIANCE OF CITY, COUNTY, AND STATE LAND DISTURBANCE PERMITS AS REQUIRED

## LAYOUT

- ALL LAYOUT MEASUREMENTS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. 2. COORDINATE POINTS SHOWN ARE TAKEN FROM BASE INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL CROSS CHECK BETWEEN COORDINATE LAYOUT AND PLAN
- DIMENSIONS PRIOR TO COMMENCING WORK. 3. LOSE AND ASSOCIATES, INC., ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL BASE INFORMATION AS NECESSARY AND TO ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY LAYOUT WORK
- 4. ALL WORK SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL DAMAGED AND/OR DISTURBED MONUMENTS, STAKES, ETC. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL USE DIMENSION,
- COORDINATES, AND OTHER INFORMATION PROVIDED ON LAYOUT PLANS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING REQUIRED ON THE PROJECT. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN EXISTING FACILITIES AND PROPOSED FACILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
- 8. CONTRACTOR SHALL NOTIFY LOSE & ASSOCIATES, INC. WITHIN 24 HOURS OF ANY LAYOUT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. ALL ADDITIONAL COSTS, INCLUDING BUT NOT LIMITED TO REMEDIAL CONSTRUCTION, ADDITIONAL SITE VISITS, OR ENGINEERING SERVICES AND FEES, ETC., INCURRED DUE TO THE FAILURE TO FOLLOW THIS PROCEDURE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 9. CONTRACTOR SHALL PROVIDE ADEQUATE LAYOUT INFORMATION TO DEMONSTRATE. TO THE MAXIMUM EXTENT PRACTICAL, THAT NO CONFLICTS BETWEEN VARIOUS TRADES FXIST
- 10. DRAINAGE STRUCTURES ARE SHOWN TO INDICATE CASTING TYPE AND LOCATION. CONTRACTOR SHALL STAKE PROPOSED PAVING, STRUCTURES, CURBS, ETC. TO ENSURE DRAINAGE STRUCTURES ARE PLACED TO AVOID CONFLICTS. DRAINAGE STRUCTURES ARE NOT DRAWN TO SCALE.

## ADA REQUIREMENTS

- 1. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES
- 2. CONTRACTOR TO COORDINATE ALL INSPECTIONS AS REQUIRED BY THE LOCAL ADA COMPLIANCE OFFICE.
- 3. AT ALL INTERSECTION OF TRAILS, SIDEWALKS, PLAZAS, AND OTHER INSTANCES WHERE 90 DEGREE TURNS CAN TAKE PLACE, THE MAX. SLOPE IN ALL DIRECTIONS IS 2 PERCENT.

## **TREE PROTECTION / REMOVAL**

- 1. EXISTING TREES ON-SITE TO BE REMOVED HAVE BEEN MARKED ON THE SITE PLANS WITH AN "X". ONLY THOSE MARKED TREES SHALL BE REMOVED. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE REMOVED ONLY:
- 1.1. REMOVE THE TOP OF ALL TREES INCLUDING BRANCHES AND TRUNK IN AN ORGANIZED AND SAFE MATTER BEING CAREFUL NOT TO DAMAGE ANY TREES TO REMAIN OR OTHER SITE FEATURES.
- 1.2. ALL STUMPS OF TREES BEING REMOVED SHALL BE COMPLETELY EXCAVATED AND REMOVED. ALL EXCAVATED HOLES, FROM REMOVAL OF TREE ROOTS, REMAINING ON-SITE SHALL BE REMEDIATED WITH ENGINEERED FILL AND COMPACTED TO MEET SPECIFICATIONS.
- 1.3. ALL TREE WASTE, INCLUDING LIMBS, BRANCHES, TRUNKS, ROOTS OR OTHER, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF IN A LEGAL MANNER.
- 2. ALL TREES THAT HAVE NOT BEEN MARKED ON THESE PLANS WITH AN "X" SHALL BE PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGE.
- CONTRACTOR SHALL PROCEED WITH THE FOLLOW FOR TREES TO BE PROTECTED ONLY: 2.1. ALL PROTECTED TREES THAT ARE LOCATED NEAR OR WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED BY TREE PROTECTION FENCING PER DETAILS. 2.2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PROTECTED TREES THAT
- ARE DAMAGED DURING CONSTRUCTION. 2.3. IF PROTECTED TREES ARE LOCATED WITHIN THE LIMITS OF CONSTRUCTION, THEY
- MUST BE PROTECTED DURING SITE CONSTRUCTION. IF GRADING, EXCAVATION OR PAVING IS SHOWN TO OCCUR NEAR THE PROTECTED 2.4. TREE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH A LOCAL
- TREE SURGEON FOR RECOMMENDATIONS ON TREE PROTECTION. 2.5. IF DISCREPANCIES OCCUR AND IT IS ANTICIPATED THAT THE PROTECTED TREES WILL BE DAMAGED DUE TO PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICT.
- THE CONTRACTOR SHALL ALSO SUBMIT RECOMMENDATIONS TO THE DESIGNER 2.6 FROM THE TREE SURGEON FOR PROTECTION MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IN-FIELD COORDINATION WITH THE 2.7. DESIGNER TO RESOLVE ANY CONFLICTS THAT MAY ARISE DUE TO PROTECTED TREES
- 2.8. IF THE CONTRACTOR LOCATES TREES IN THE FIELD THAT ARE NOT SHOWN ON THESE PLANS OR THAT ARE MISLOCATED, THE CONTRACTOR SHALL NOTIFY THE DESIGNER FOR REVIEW OF THE TREE AND ITS LOCATION.
- 2.9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUB-CONSULTANTS AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE THE PROTECTION OF THE TREES TO REMAIN.

## TREE PROTECTION / REMOVAL (CONT.)

2.10. IN THE EVENT OF UTILITY LINE ADJUSTMENTS, ADDITIONS OR RELOCATIONS, THE CONTRACTOR SHALL WORK WITH THE UTILITY PROVIDER AND INSTALLER TO ROUTE THE UTILITY LINES OUTSIDE OF THE TREE PROTECTION ZONE. IF THIS IS NOT POSSIBLE, RECOMMENDATIONS MUST BE OBTAINED FROM A LOCAL TREE SURGEON FOR REMEDIATION OPTIONS.

2.11. CONTRACTOR MUST SUBMIT ALL REPORTS OR RECOMMENDATIONS FOR TREE PRUNING OR ALTERING TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO RENDERING SERVICES

## BROOKHAVEN TREE PROTECTION NOTES

- TREES IDENTIFIED TO BE PRESERVED AND COUNTED TOWARD THE TREE DENSITY REQUIREMENTS SHALL HAVE TEMPORARY CHAIN LINK FENCE OR FOUR FOOT ORANGE TREE PROTECTION FENCING AND STAKED HAY BALES INSTALLED AT OR BEYOND THE CRITICAL ROOT ZONE. A SIGN SHALL BE PLACE ON THE FENCING STATING "KEEP OUT." A TWO-INCH LAYER OF MULCH AND MYCORRHIZAE FUNGI SHALL BE APPLIED OVER THE CRITICAL ROOT ZONE PRIOR TO CONSTRUCTION.
- PRE-CONSTRUCTION LIMB PRUNING SHALL BE PERFORMED ON ANY TREES WITHIN THE CONSTRUCTION ZONE, THAT ARE TO BE PRESERVED, TREE BRANCHES SHALL BE PRUNED TO AN APPROPRIATE HEIGHT TO AVOID DAMAGE BY CONSTRUCTION EQUIPMENT AND STRUCTURES. ALL DEAD BRANCHES GREATER THAN ONE INCH IN DIAMETER SHOULD BE REMOVED TO REDUCE THE RISK OF DEAD BRANCH FAILURE TO CONSTRUCTION PERSONNEL. ALL TREE PRUNING IS TO BE DONE USING ANSI STANDARD A300 (PART 1) FOR PRUNING. NO GAFF OR SPIKE CLIMBING TO BE USED TO ACCESS LIMBS.
- ROOT PRUNING IS TO BE DONE WHENEVER ROOTS OF TREES ARE EXPOSED DURING CONSTRUCTION, ALL ROOT PRUNING TO BE DONE USING ANSI STANDARD A300 (PART 8) FOR ROOT MANAGEMENT. THE ROOT ENDS ARE TO BE CUT OFF CLEANLY AND THE ROOTS COVERED BY DIRT OR PLASTIC FOR AS LONG AS THE ROOT IS EXPOSED. WHEN PERFORMING A TRENCH EXCAVATION, THE ROOTS HAVE TO BE CUT ON THE TREE-SIDE OF THE TRENCH PRIOR TO EXCAVATING. NO ROOT PRUNING SHALL BE ALLOWED IN THE STRUCTURAL ROOT PLATE OF ANY SAVED TREE.
- IN TREE SAVE AREAS WHERE LARGE EQUIPMENT WILL BE OPERATING, A TEMPORARY BRIDGE OVER THE ROOT SYSTEM OF THE TREE SHALL BE CONSTRUCTED INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATS OR LANDSCAPE TIMBERS AND PLYWOOD. AREA OF BRIDGE WILL TYPICALLY ADHERE TO THE AREA UNDER THE DRIPLINE FOR ALL TREES. TEMPORARY BRIDGE DETAIL MUST BE INCLUDED ON THE TREE PROTECTION AND REPLACEMENT PLAN.
- NO PERSON ENGAGED IN THE CONSTRUCTION OF ANY IMPROVEMENT OR SITE WORK SHALL ENCROACH OR PLACE SOLVENTS, MATERIAL, CONSTRUCTION MACHINERY OR TEMPORARY SOIL DEPOSITS WITHIN THE CRITICAL ROOT ZONE OF SPECIMEN TREES. TREE SAVE AREAS, TRANSITIONAL BUFFER ZONES, STREAM BUFFERS AND/OR STATE BUFFERS. 6. ALL TREE PROTECTION DEVICES MUST REMAIN IN FUNCTIONING CONDITION UNTIL
- COMPLETION OF THE PROJECT: 6.1. FOR ALL PROJECTS, TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING 6.2. TREE PROTECTION FENCES FOR SUBDIVISIONS SHALL BE INSTALLED BY THE
- DEVELOPER AT THE SAME TIME AS THE EROSION CONTROL DEVICES. THE DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF TREE PROTECTION FENCES AND DEVICES UNTIL BUILDING COMMENCES ON A LOT. THEREAFTER, BOTH THE DEVELOPER AND THE GENERAL CONTRACTOR ARE RESPONSIBLE FOR MAINTENANCE OF THE FENCE ON THE LOT.
- ANY TREE DESIGNATED ON THE TREE PROTECTION PLAN TO BE SAVED, WHICH IS DAMAGED DURING CONSTRUCTION OTHER THAN BY AN ACT OF GOD, SHALL BE TREATED ACCORDING TO ISA STANDARDS. IF FATALLY DAMAGED, THE TREE SHALL BE RECOMPENSED ON A 1.5-INCH PER ONE-INCH BASIS WITH A COMBINATION OF TWO-INCH, THREE-INCH AND FOUR-INCH OR LARGER CALIPER OVERSTORY TREES.
- BOUNDARY TREE PROTECTION AND ESCROW ACCOUNT. 8.1. THE PERMITTEE SHALL PROVIDE A BOUNDARY TREE AGREEMENT BETWEEN THE HOMEOWNER AND THE APPLICANT. THE BOUNDARY TREE OWNER MAY REQUEST FOR A TREE ESCROW ACCOUNT TO BE ESTABLISHED, WHICH MAY BE AN IRREVOCABLE LETTER OF CREDIT IN FAVOR OF THE CITY FROM THE PERMITTEE IN THE AMOUNT AGREED TO BY BOTH PARTIES OR MAY BE A CASH DEPOSIT IN TRUST WITH THE CITY IN THAT AMOUNT, OR THE PERMITTEE MUST SUBMIT AN AGREEMENT CONTRACT CONCERNING THE PROPOSED BOUNDARY TREE DISTURBANCE THAT IS AGREED UPON AND SIGNED AND NOTARIZED BY BOTH PARTIES. PRIOR TO PERMIT ISSUANCE A COPY OF THAT AGREEMENT SHALL BE SUBMITTED TO THE CITY TO BE PLACED IN THE BUILDING PERMIT FILE.
- FOR ANY BOUNDARY TREE THAT HAS ITS CRITICAL ROOT ZONE IMPACTED AND/OR 8.2. ENCROACHED INTO MORE THAN 20 PERCENT WITHOUT A PREVIOUSLY APPROVED CERTIFIED ARBORIST PRESCRIPTION. THE PERMITTEE SHALL EITHER DEPOSIT INTO AN ESCROW ACCOUNT. OR CAUSE TO BE ISSUED IN FAVOR OF THE CITY. AN IRREVOCABLE LETTER OF CREDIT, IN AN AMOUNT TOTALING THE ESTIMATED COST OF REMOVAL OF THE BOUNDARY TREE PLUS THE COST TO REPLACE THE BOUNDARY TREE WITH A MINIMUM THREE-INCH CALIPER TREE. THE APPLICANT MUST SEND A CERTIFIED LETTER DESCRIBING THE PROPOSED DISTURBANCE TO THE BOUNDARY TREE OWNER AT THE LAST KNOWN ADDRESS OF THE BOUNDARY TREE OWNER. A COPY OF THE LETTER AND THE CERTIFICATE OF MAILING MUST BE PROVIDED TO THE CITY TO PLACE IN THE PERMIT FILE PRIOR TO PERMIT ISSUANCE. THIS DOES NOT PREVENT THE BOUNDARY TREE OWNER FROM FILING A CIVIL ACTION IN COURT FOR ANY DAMAGES TO THE BOUNDARY TREE REAL OR PERCEIVED. REPLACEMENT TREES SHALL BE OF COMPARABLE MATURE CANOPY SIZE AND 8.3. SPECIES QUALITY TO THE REPLACED BOUNDARY TREE, AND SHALL BE
- ECOLOGICALLY COMPATIBLE WITH THE INTENDED GROWING SITE AS DETERMINED BY THE CITY ARBORIST. AFTER THREE YEARS FROM THE DATE OF CERTIFICATE OF OCCUPANCY ISSUANCE, 8.4. THE PERMITTEE MAY PETITION THE CITY ARBORIST TO RETURN THE MONEY HELD IN ESCROW FOR THE BOUNDARY TREE. THE CITY ARBORIST WILL REVIEW THE
- BOUNDARY TREE TO DETERMINE IF IT IS IN IRREVERSIBLE DECLINE AS A RESULT OF THE PERMITTEE'S DISTURBANCE ACTIVITIES. PERMITTEE AND BOUNDARY TREE OWNER ARE NOTIFIED OF THE ARBORIST'S DETERMINATION VIA FIRST CLASS MAIL EITHER PARTY MAY APPEAL THE DECISION TO THE BOARD OF APPEALS. 8.5. IF. DURING THE THREE-YEAR PERIOD, THE BOUNDARY TREE IS IN IRREVERSIBLE DECLINE OR HAS DIED AS A RESULT OF THE PERMITTEE'S LAND DISTURBANCE AND/OR CONSTRUCTION ACTIVITY, THE BOUNDARY TREE OWNER WILL BE ISSUED A CHECK BY THE CITY FOR THE AMOUNT DEPOSITED BY THE PERMITTEE. THE PERMITTEE AND BOUNDARY TREE OWNER WILL BE NOTIFIED BY THE ARBORIST VIA
- FIRST CLASS MAIL. EITHER PARTY MAY APPEAL THE DECISION TO THE BOARD OF APPFALS 8.6. NEITHER THE BOUNDARY TREE OWNER NOR THE PERMITTEE SHALL BE ENTITLED TO RECEIVE INTEREST ON ANY FUNDS REQUIRED BY THIS PROVISION. ANY FUNDS NOT
- COLLECTED BY EITHER THE BOUNDARY TREE OWNER OR THE PERMITTEE WITHIN A PERIOD OF FOUR YEARS SHALL BE DEPOSITED INTO THE CITY TREE FUND.

## DEKALB COUNTY NOTES

- 1. 72 HOURS NOTICE IS REQUIRED TO GEORGIA 811 UTILITY PROTECTION CENTER BEFORE ANY PLANNED DIGGING. (HTTP://WWW.GEORGIA811.COM) DEKALB COUNTY IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS BY ENGINEERS
- OR OTHER DESIGN PROFESSIONALS ON DESIGN OR COUNTY CODE REQUIREMENTS FOR THIS PROJECT
- 3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN THE TREE PROTECTION AREAS.
- 6. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.

## ABBREVIATIONS

NIC - NOT IN CONTRACT

- OUTSIDE DIAMETER

- PERFORATED DRAIN

- PROPERTY LINE

POB - POINT OF BEGINNING

- POWER POLE

- SQUARE FEE

- SQARE YARD

SPEC - SPECIFICATION(S)

- TELEPHONE

- TOP OF STEP

- TOP OF CASTING

- TOP OF FOOTING

- TOP OF PAVEMENT

- RADIUS

SERV - SERVICE

SCH - SCHEDULE

S.F. - SILT FENCE

SIG - SIGNAL

STA - STATION

- STREET

TOC - TOP OF CURB

TW - TOP OF WALL

- WATER

WV - WATER VALVE

WS - WATER SERVICE

WWF - WELDED WIRE FABRIC

TYP - TYPICAL

VERT - VERTICAL

- SQUARE

ROW - RIGHT OF WAY

- NUMBER

O.C. - ON CENTER

NO

OD

PD

PP

SF

SQ

SY

ST

TC

TF

TP

TS

W

PL

ASPH - ASPHALT - AT

a	- A I
BOC	- BOTTOM OF CURB
BFP	- BACKFLOW PREVENTER
BS	- BOTTOM OF STEP
BW	- BOTTOM OF WALL
CL	- CENTERLINE
CJ	- CONTROL JOINT
CO	- COMPANY
CONT	- CONTINUOUS
CY	- CUBIC YARD
DIA	- DIAMETER
DR	- DRIVE
	- EXPANSION JOINT
	- ELECTRIC
ELEV	- ELEVATION
FH	- FIRE HYDRANT
EX	- EXISTING
FT	- FEET
FL	- FLOW LINE
GALV	- GALVANIZED
HP	- HIGH POINT
HT	- HEIGHT
	- HEADWALL
	- HYDRANT
ID	- INSIDE DIAMETER
	- JUNCTION
	- LIMITS OF CLEARANCE
	- LIMITS OF DISTURBANCE
LF	- LINEAR FEET
MAX	- MAXIMUM

- MIN MINIMUM
- MH MANHOLE MPH - MILES PER HOUR
- BVCS BEGINNING OF VERTICAL CURVE STATION BVCE - BEGINNING OF VERTICAL CURVE ELEVATION
- EVCS ENDING OF VERTICAL CURVE STATION
- EVCE ENDING OF VERTICAL CURVE ELEVATION PVI - POINT OF VERTICAL INTERSECTION

NOTE: THESE ABBREVIATIONS ARE GENERAL; INDIVIDUAL SHEETS MAY INCLUDE OTHERS.

## "C" SHEETS LEGEND

OE OE	OVERHEAD ELECTRIC
UE UE	UNDERGROUND ELECTRIC
— G —— G ——	GAS
— w — — w —	WATER
— SW ——— SW ———	STORM SEWER
— SS —— SS ——	SANITARY SEWER
$\bullet$	BENCHMARK
ч М	FIRE HYDRANT



THE ARCHITECT. I DRAWING WITHOU	REPRODUCTIO	ROWN IS THE PROPERTY OF ICCOPYING, OR USE OF THIS THE CONSENT IS PROHIBITED, LECT TO LEGAL ACTION.
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DRAWN BY MTC CHECKED DMY		SCALE N.T.S.
SHEET NC		01 DVED PLAN 09/20/

# SURVEY NOTES

EQUIPMENT USED A TRIMBLE "S" SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY. FRACT 1 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 697.879 FEE FRACT 2 HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 239,751 FEET. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 31,741 FEET AND AN ANGULAR ERROR OF 1" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83. ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET CONTOURS ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM. FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON AUGUST 17, 2016 DISCLAIMERS: INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID FREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY. THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND OCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND T SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND NFORMATION INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY JNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON. STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO

REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCA AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE ERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON. PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING

SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION

OR POLLUTION

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY

FERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON -EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY

## SITE INFORMATION

CURRENT OWNER: CITY OF BROOKHAVEN DB. 24965 PG. 50

TAX PARCEL ID # 18 331 01 005 & 18 326 01 041

ADDRESS: 1551 WEST NANCY CREEK DRIVE ZONING: R-100 (MULTI FAMILY RESIDENTIAL JURISDICTION: CITY OF BROOKHAVEN

SETBACKS:FRONT 35' SIDE 20' (ULESS ADJOINER IS ANY R LOT THEN 50') REAR 40' (ULESS ADJOINER IS ANY R LOT THEN 50')

PARKING COUNT: REGULAR PARKING - 228

HANDICAPPED PARKING -TOTAL PARKING COUNT - 233

## **REFERENCE MATERIAL**

- 1. PLAT FOR CANDLER LAKE ESTATES, UNIT ONE RECORDED IN PB. 45 PG. 14
- AMONG THE LAND RECORDS OF DEKALB COUNTY 2. PLAT FOR ASHWOODY SUBDIVISION
- RECORDED IN PB. 45 PG. 35 AFORESAID RECORDS
- 3. PLAT FOR CANDLER LAKE VIEW SUBDIVISION RECORDED IN PB. 58 PG. 161 AFORESAID RECORDS
- 4. FINAL PLAT FOR ASHFORD GLEN, UNIT 4 RECORDED IN PB. 84 PG. 29
- 5. PLAT FOR FOX GLEN SUBDIVISION RECORDED IN PB. 46 PG. 87

AFORESAID RECORDS

AFORESAID RECORDS

- AFORESAID RECORDS 6. CONDOMINIUM PLAT FOR ASHFORD LAKE CONDOMINIUM ASSOCIATION **RECORDED IN PB. 6 PG. 9** AFORESAID RECORDS
- 7. DEED FOR ASHFORD PLACE CONDOMINIUM ASSOCIATION RECORDED IN DB. 3529 PG. 379

## **AREA TABLE**

TRACT

3,630,024 SQ.FT. OR 83,3339 AC. 1,602,679 SQ.FT. OR 36.7924 AC. TRACT 2

TOTAL AREA 5,232,703 SQ.FT. OR 120.1263 AC.

## TITLE NOTES

ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (PANEL NUMBERS 13089C0012J & 13089C0014J), DATED MAY 16, 2013; A PORTION ÒF THIS PROPERTY LIES WITHIN A SPECIAL FLŐOD HAZARD AREA.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, WHICH COULD REVEAL ENCUMBRANCES NOT SHOWN ON THIS SURVEY.

SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF WEST NANCY CREEK DRIVE, CANDLER LAKE WEST & CANDLER LAKE EAST.

## **TRACT 1 PROPERTY DESCRIPTION**

eing a tract or parcel of land lying and being in Land Lots 326 & 331, 18th District, DeKalb County Georgia and being more particularly described as follows:

o find the Point of Beginning, commence at a ½ rebar capped rebar set representing the intersection of the extension of right of lines of the West Right of Way Line of Candler Lake Circle East (having an apparent 60 feet wide right of way) and the North Right of Way Line of West Nancy Creek Drive (having an apparent 100 feet wide right of way), said right of way lines being shown on a plat of subdivision entitled "Candler Lake Estates, Unit One" and recorded among the Land Records of DeKalb County, Georgia in Plat Book 45, Page 14; thence, leaving the said point and running, 26.38 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 47° 01' 01" West, 26.37 feet to a 1/2 inch capped rebar set at the True Point of Beginning of the herein described tract or parcel of land; thence

- aving the said Point of Beginning and running with the said line of West Nancy Creek Drive 380.40 feet along the arc of a curve deflecting to the right, having a radius of 506.58 feet and a chord bearing and distance of South 70° 01' 15" West, 371.53 feet to a  $\frac{1}{2}$  inch capped rebar set; thence,
- North 88° 28' 01" West, 1,159.48 feet to a 1/2 inch capped rebar set; thence, 146.06 feet along the arc of a curve deflecting to the left, having a radius of 622.95 feet and a chord bearing and distance of South 84° 48' 59" West, 145.72 feet to a ½ inch capped
- rebar set at the intersection of aforesaid West Nancy Creek Drive and the East Right of Way Line of Candler Lake Circle West (having an apparent variable width right of way); thence, running with the said line of Candler Lake Circle West 212.67 feet along the arc of a curve deflecting to the right, having a radius of 773.40 feet and a chord bearing and distance of North 01° 17' 06" East, 212.00 feet to a ½ inch capped
- rebar set: thence, North 09° 09' 45" East, 20.00 feet to a 1/2 inch capped rebar set, thence,
- North 24° 06' 45" East, 46.16 feet to a 1/2 inch capped rebar set; thence, 408.95 feet along the arc of a curve deflecting to the left, having a radius of 539.87 feet and
- a chord bearing and distance of North 13° 35' 58" West, 399.24 feet; thence, North 35° 18' 01" West, 29.88 feet, thence, 435.41 feet along the arc of a curve deflecting to the right, having a radius of 686.20 feet and a chord bearing and distance of North 17° 07' 22" West, 428.14 feet; thence,
- North 01° 03' 18" East, 191 24 feet, thence, 523.78 feet along the arc of a curve deflecting to the left, having a radius of 1,794.83 feet and a chord bearing and distance of North 07° 18' 19" West, 521.93 feet; thence,
- North 15° 39' 56" West, 1,182.85 feet to a 1/2 inch capped rebar set, thence, leaving the said line of Candler Lake Circle West and running with the South Right of Way Line of an undeveloped City Street (having an apparent 60 feet right of way) as shown on a plat of subdivision entitled "Ashwoody" and recorded among the aforesaid Land Records in Plat Book 45. Page 35
- 215.29 feet along the arc of a curve deflecting to the right, having a radius of 162.68 feet and a chord bearing and distance of North 40° 25' 23" East, 199.92 feet; thence, North 78° 06' 13" East, 98.19 feet; thence, 109.79 feet along the arc of a curve deflecting to the right, having a radius of 170.80 feet and a chord bearing and distance of South 76° 39' 12" East, 107.91 feet; thence,
- South 58° 15' 31" East, 39 59 feet, thence, 171.51 feet along the arc of a curve deflecting to the right, having a radius of 855.80 feet and a chord bearing and distance of South 52° 34' 06" East, 171.23 feet, thence,
- South 46° 48' 38" East, 109.64 feet; thence, 150.99 feet along the arc of a curve deflecting to the right, having a radius of 1,060.00 feet and a chord bearing and distance of South 42° 42' 47" East. 150.86 feet. thence
- South 38° 37' 57" East, 185.42 feet to a 1/2 inch capped rebar set; thence, South 27° 52' 26" East. 267 98 feet. thence. 134.69 feet along the arc of a curve deflecting to the right, having a radius of 3,888.00 feet and a chord bearing and distance of South 26° 52' 53" East, 134.68 feet to a 1/2 capped
- rebar set; thence, South 25° 53' 21" East, 89.96 feet to a 1/2 inch capped rebar set on the developed West Right of Way Line of Candler Lake Circle East (having an apparent 60 feet wide right of way) as shown on a plat of subdivision entitled "Candler Lake View" and recorded among
- the aforesaid Land Records in Plat Book 58, Page 161; thence, running with the said line of Candler Lake Circle East 87.43 feet along the arc of a curve deflecting to the right, having a radius of 476.00 feet and a chord bearing and distance of South 21° 03' 58" East, 87.31 feet; thence,
- South 17° 19' 19" East, 233.10 feet; thence, 576.41 feet along the arc of a curve deflecting to the left, having a radius of 750.28 feet and a chord bearing and distance of South 39° 19' 51" East, 562.34 feet; thence, South 61° 20' 23" East. 277.04 feet: thence. 372.07 feet along the arc of a curve deflecting to the left, having a radius of 709.22 feet and
- a chord bearing and distance of South 76° 22' 09" East, 367.82 feet, thence, North 88° 36' 05" East, 106.79 feet; thence, 428.21 feet along the arc of a curve deflecting to the right, having a radius of 186.47 feet
- and a chord bearing and distance of South 25° 36' 38" East, 340.13 feet, thence, South 40° 10' 39" West, 291 39 feet, thence, 397.43 feet along the arc of a curve deflecting to the left, having a radius of 312.01 feet and a chord bearing and distance of South 03° 41' 11" West, 371.10 feet to a 1/2 inch capped
- rebar set; thence, South 32° 48' 16" East, 104 23 feet to a 1/2 inch capped rebar set, thence South 33° 54' 42" East, 127.33 feet to a 1/2 inch capped rebar set, thence,
- 43.16 feet along the arc of a curve deflecting to the right, having a radius of 30.00 feet and a chord bearing and distance of South 07° 17' 54" West, 39.53 feet to the Point of Beginning, containing 3,630,024 square feet or 83.3339 acres of land, more or less.
- perty is subject to all easements and rights of way recorded and unrecorded.



PHOTO #



PHOTO #4

## **BOUNDARY AND TOPOGRAPHIC SURVEY** FOR THE CITY OF BROOKHAVEN (MURPHEY CANDLER PARK) LOCATED IN LAND LOTS 326, 327 & 331, 18TH DISTRICT DEKALB COUNTY, GEORGIA

SITE MAP





**PHOTO #2** 



PHOTO #5

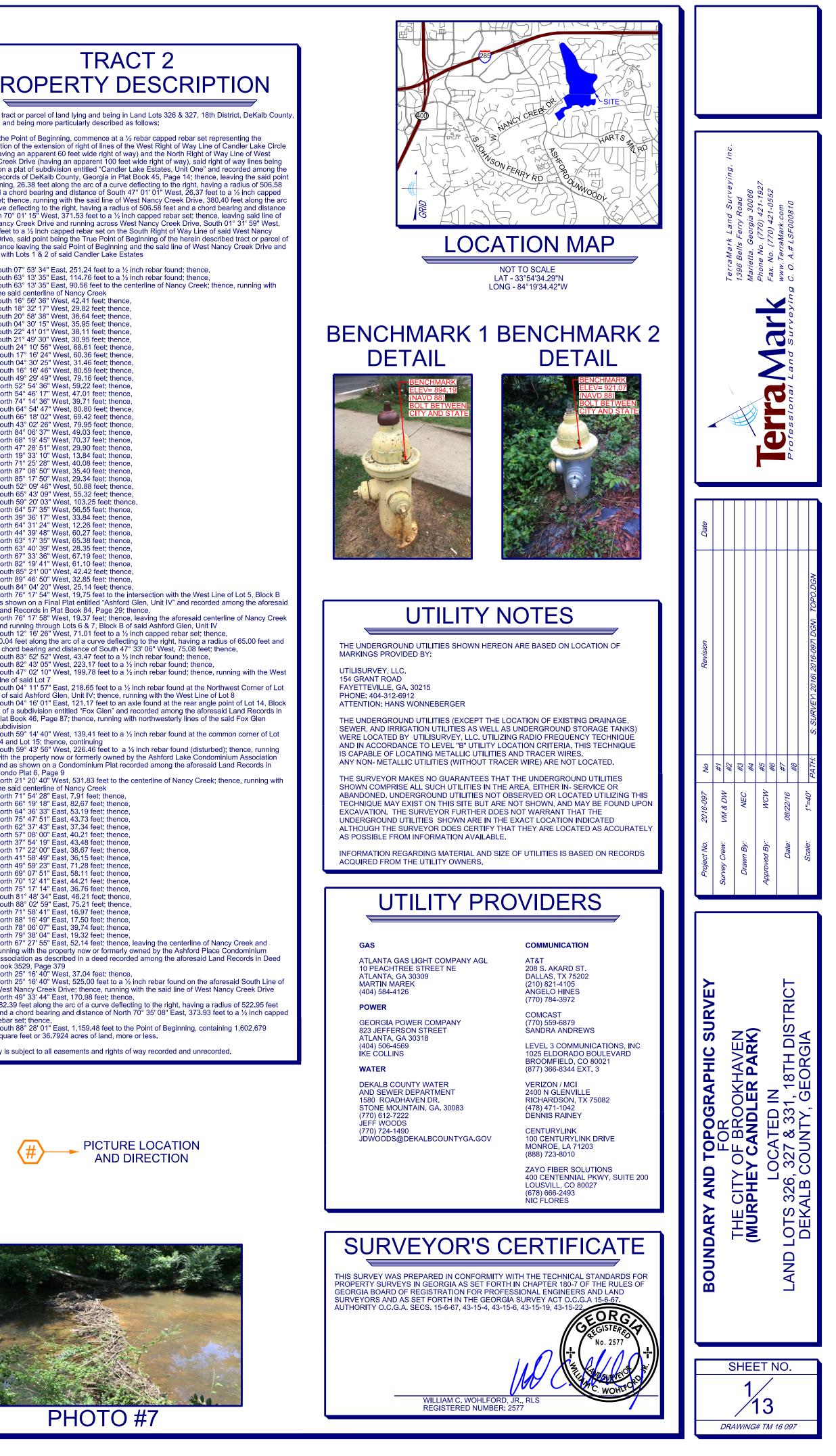






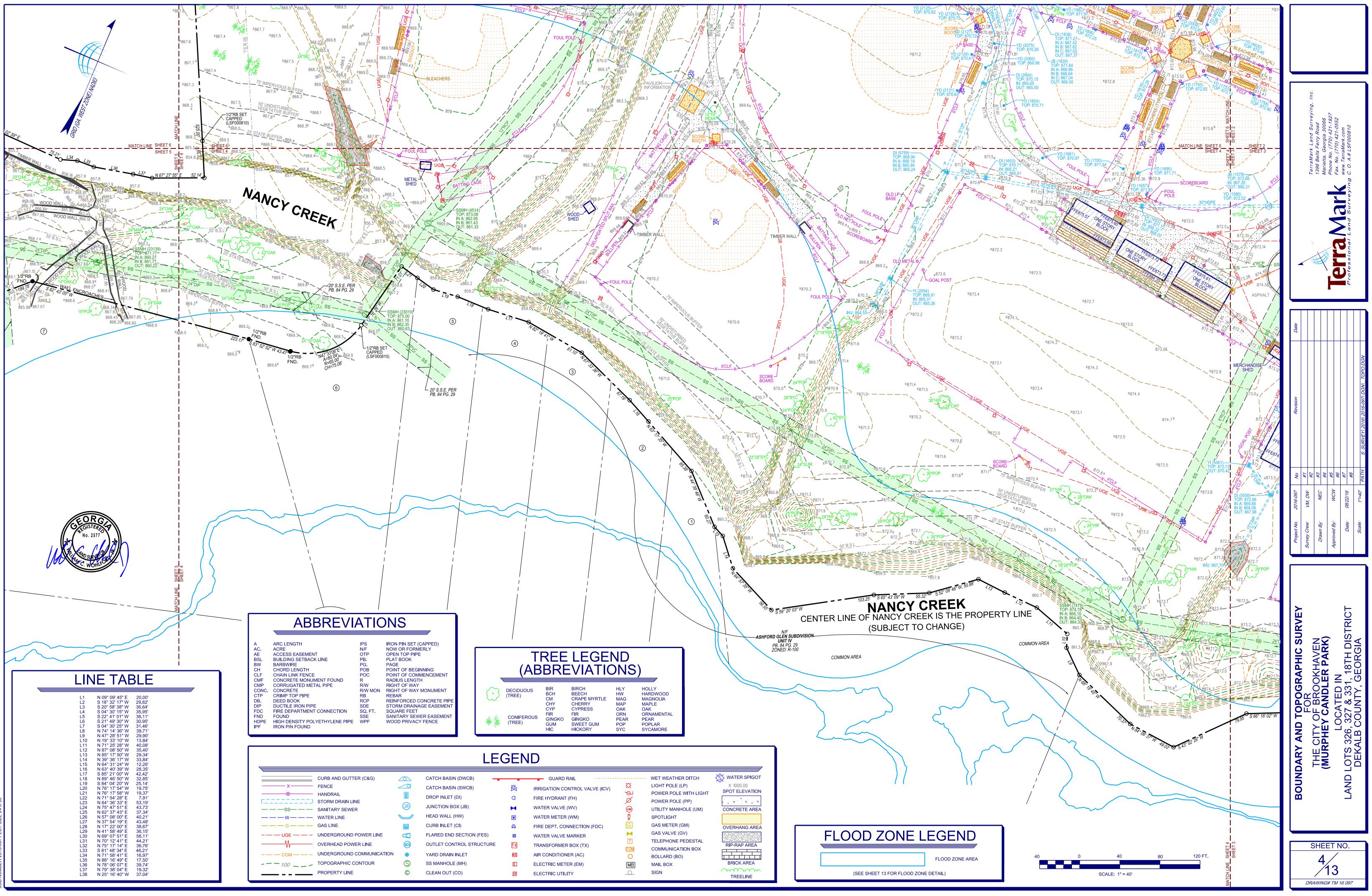
**PHOTO #6** 



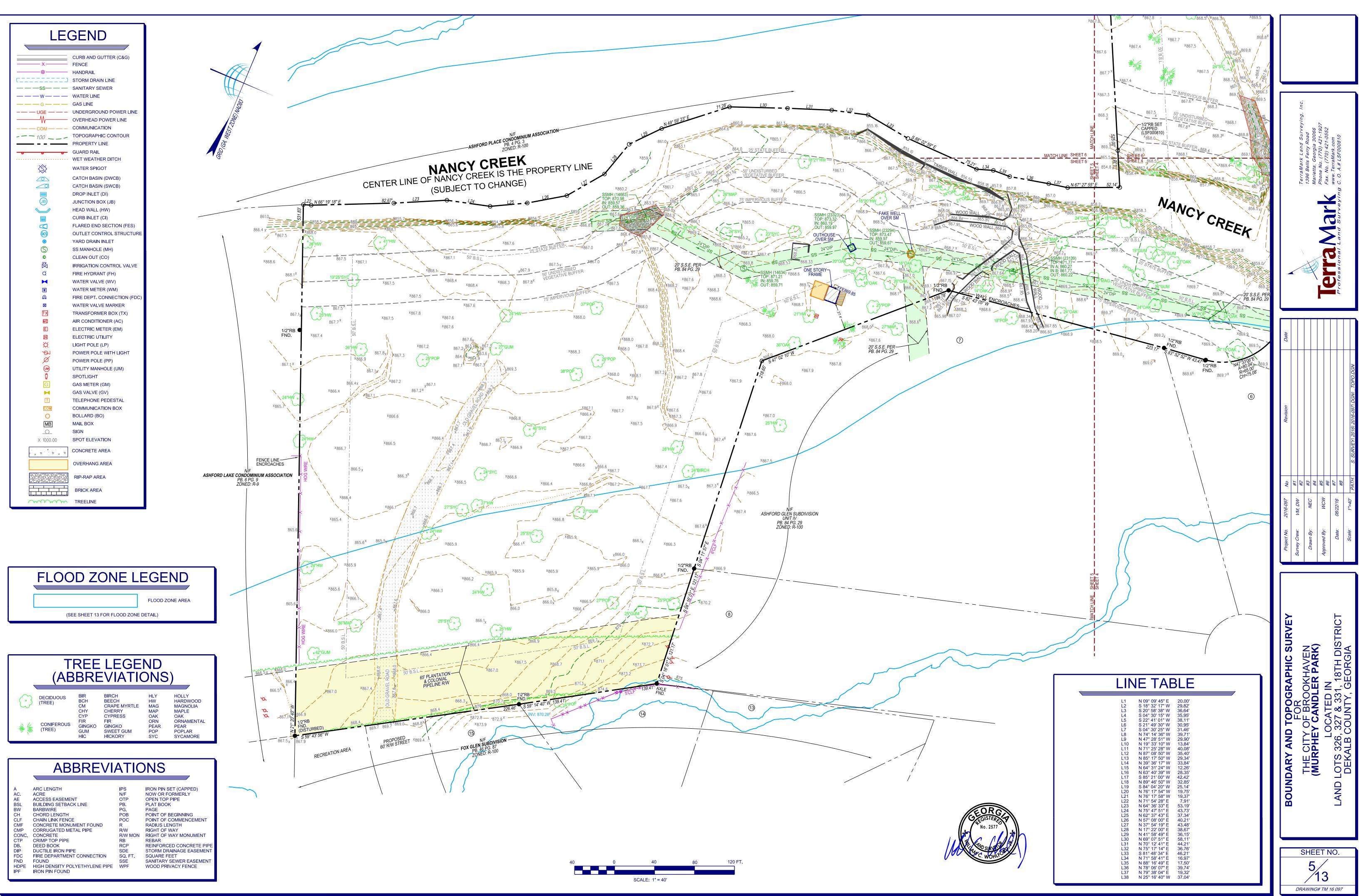




**APPROVED PLAN 09/20/2023** Permit # LDP22-00012

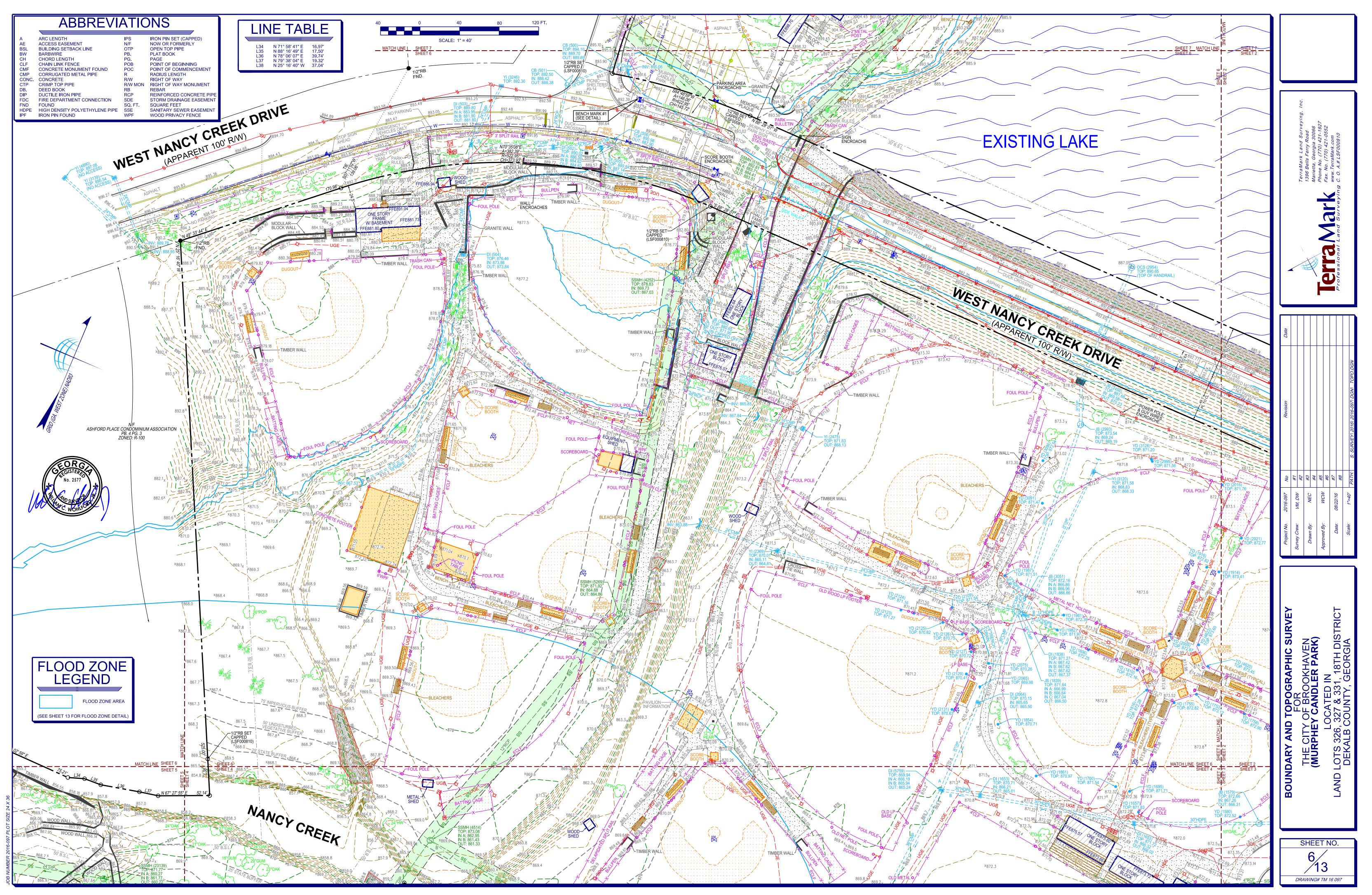


APPROVED PLAN 09/20/2023 Permit # LDP22-00012

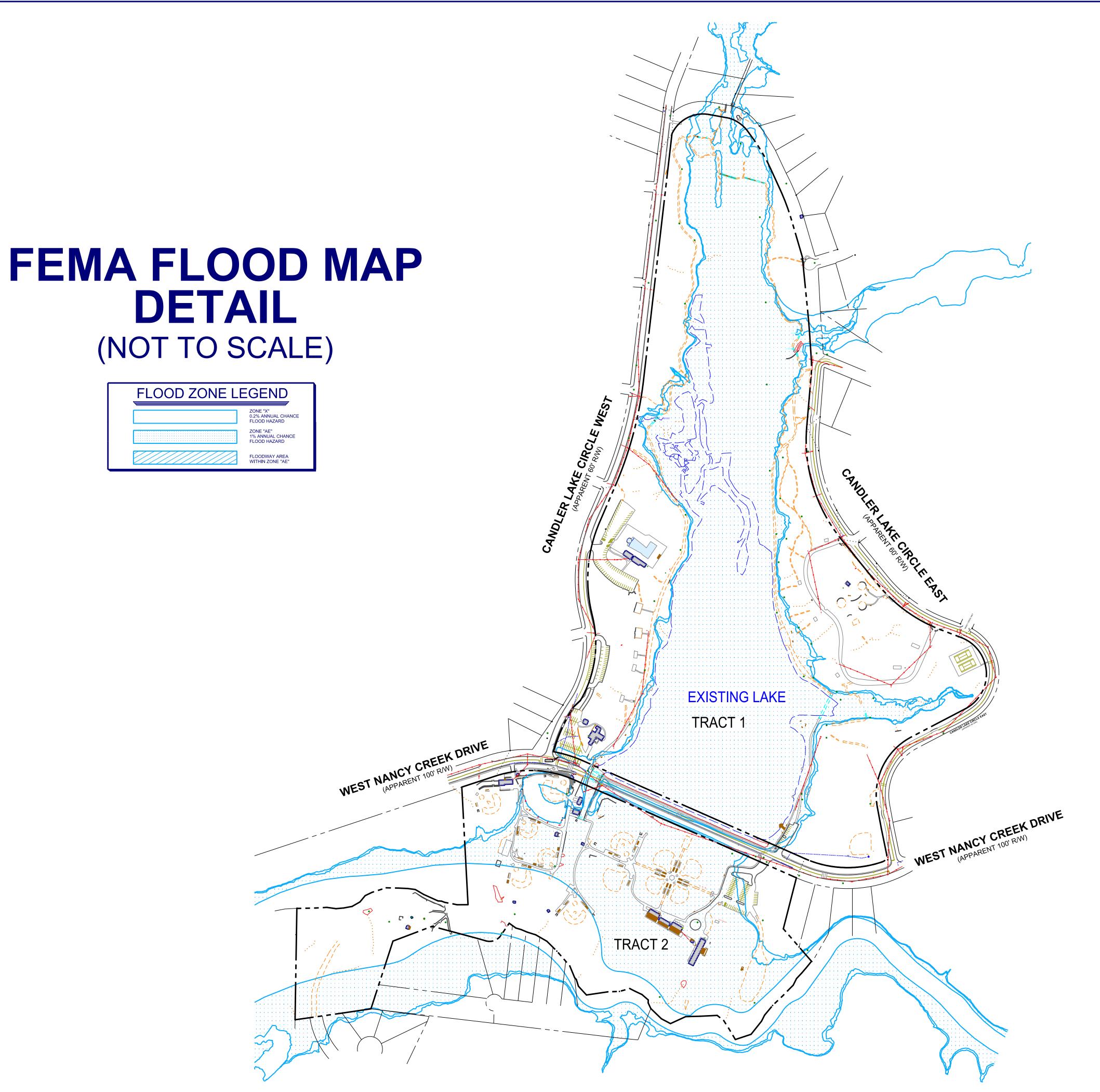


NUMBER 2016-097 PLOT SIZE 24

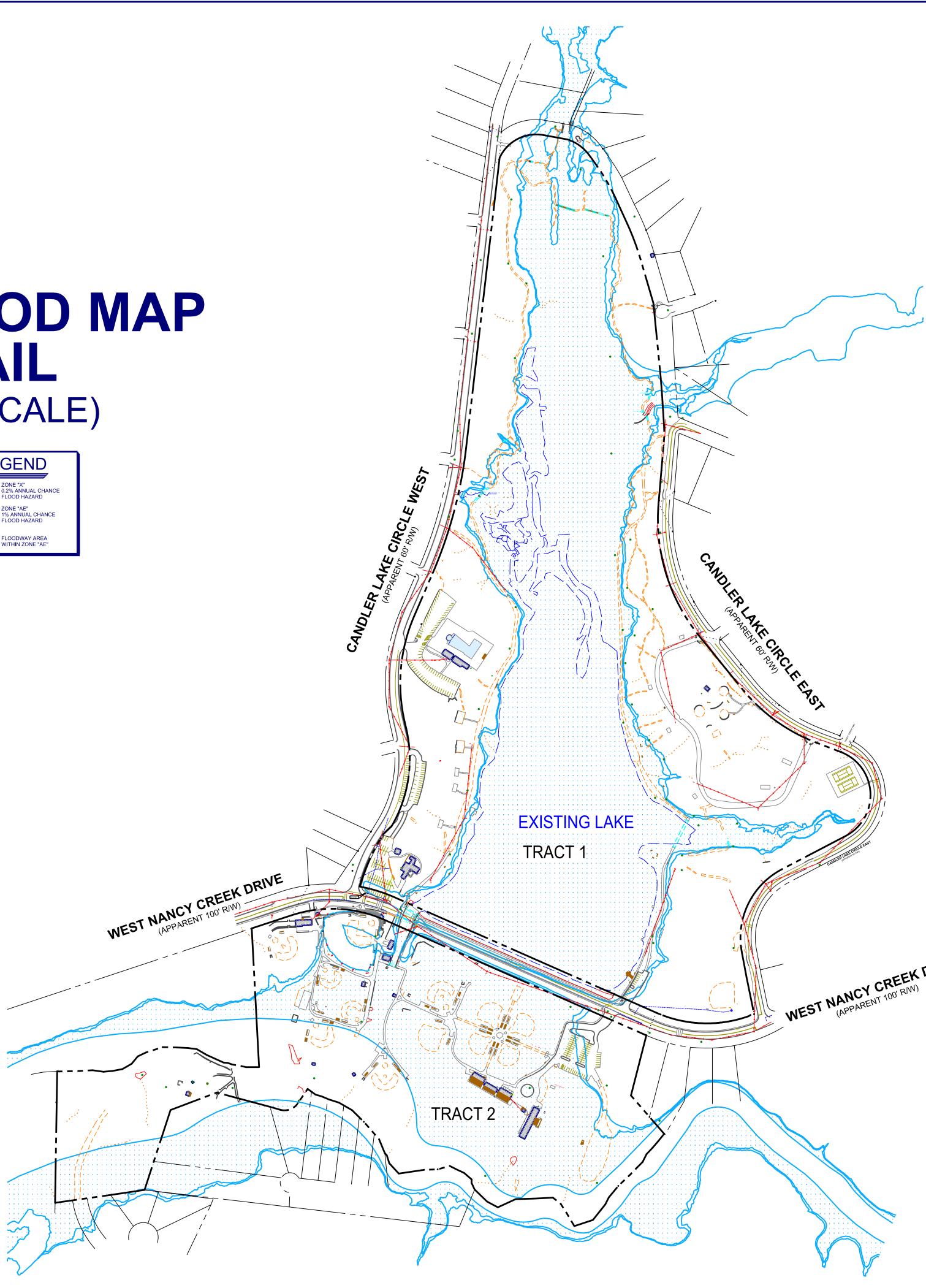
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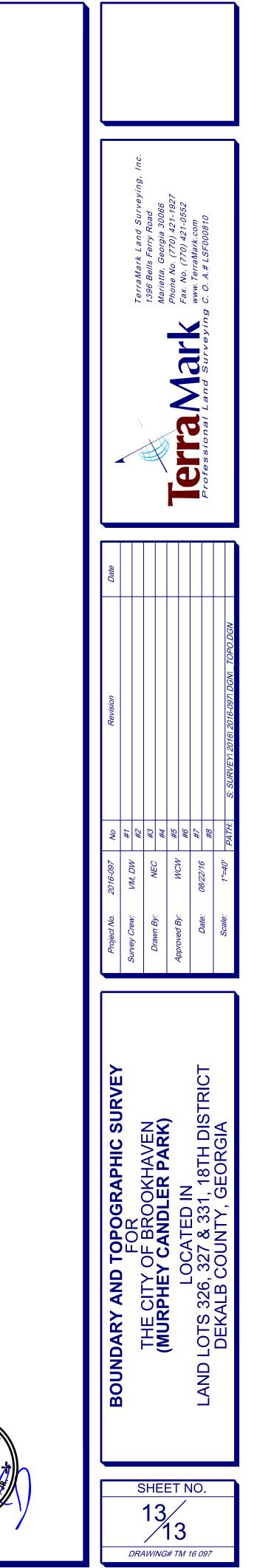


APPROVED PLAN 09/20/2023 Permit # LDP22-00012



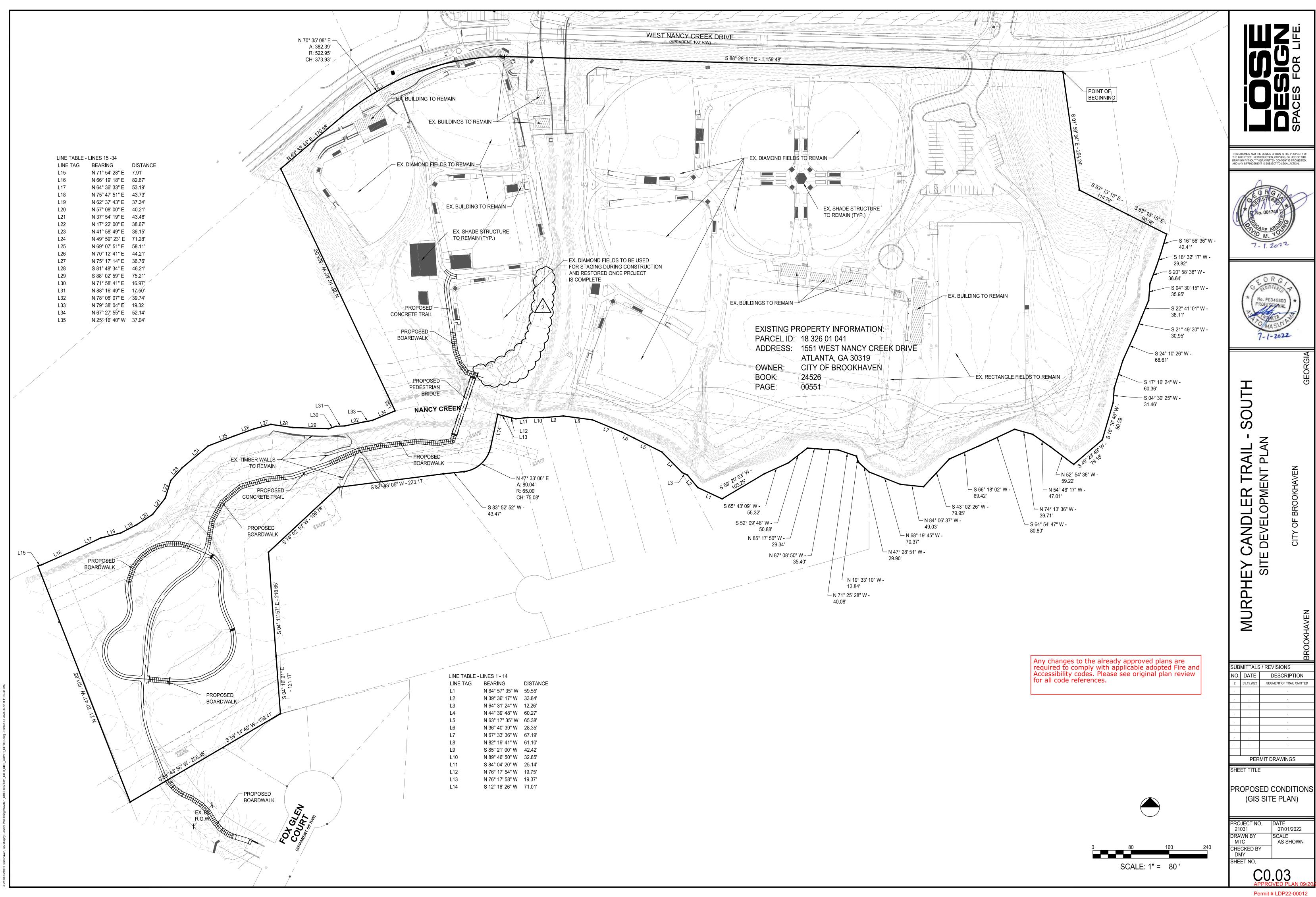
FLOOD ZONE LE	EGEND
	ZONE "X" 0.2% ANNUAL CHANCE FLOOD HAZARD
	ZONE "AE" 1% ANNUAL CHANCE FLOOD HAZARD
	FLOODWAY AREA WITHIN ZONE "AE"



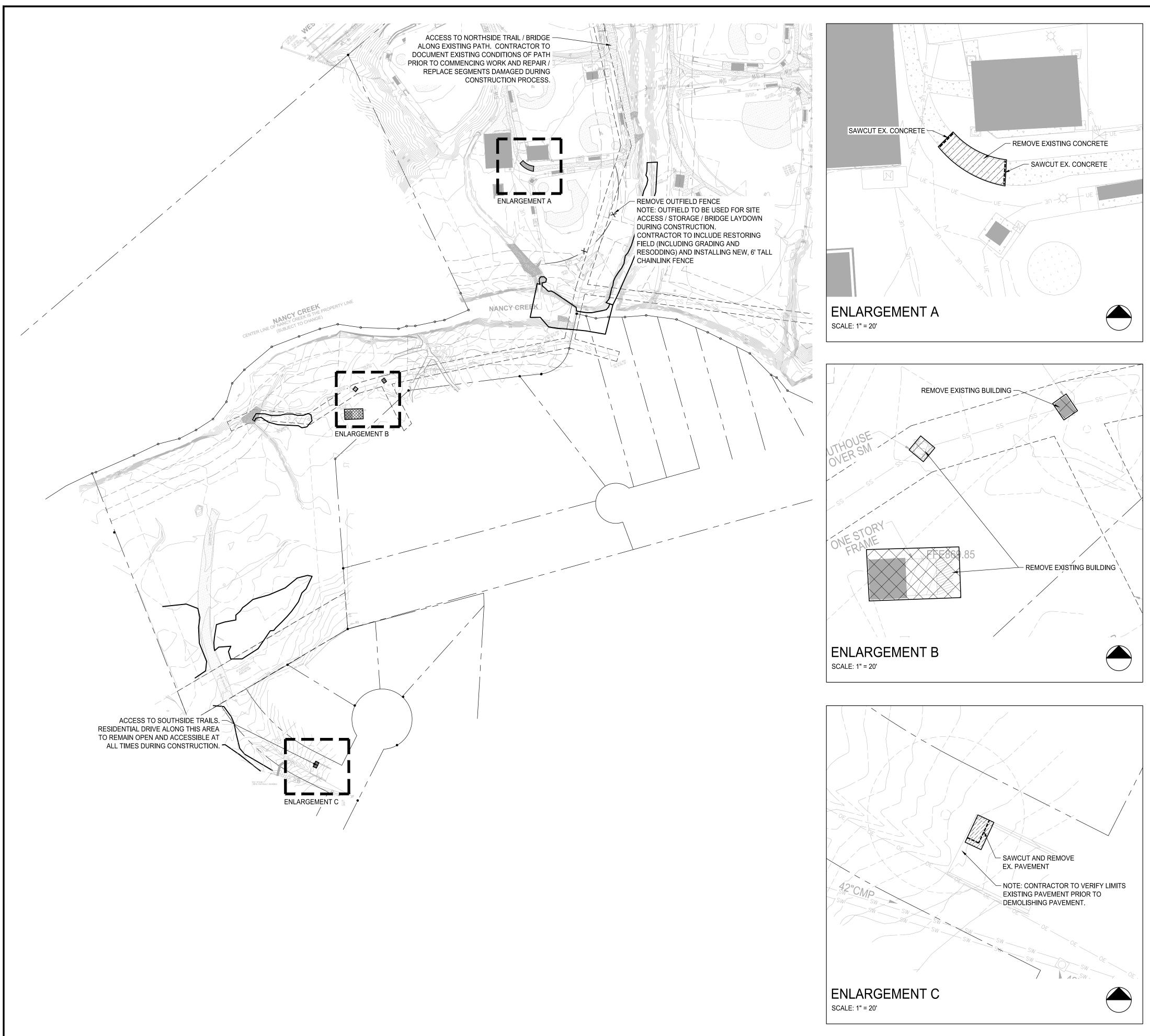








LINE TABLE -	LINES 1 - 14	
LINE TAG	BEARING	DISTANCE
L1	N 64° 57" 35" W	59.55'
L2	N 39° 36' 17" W	33.84'
L3	N 64° 31' 24" W	12.26'
L4	N 44° 39' 48" W	60.27'
L5	N 63° 17" 35" W	65.38'
L6	N 36° 40' 39" W	28.35'
L7	N 67° 33' 36" W	67.19'
L8	N 82° 19' 41" W	61.10'
L9	S 85° 21' 00" W	42.42'
L10	N 89° 46' 50" W	32.85'
L11	S 84° 04' 20" W	25.14'
L12	N 76° 17' 54" W	19.75'
L13	N 76° 17' 58" W	19.37'
L14	S 12° 16' 26" W	71.01'





## LEGEND:

— × —

Α.

EXISTING CONCRETE PAVEMENT REMOVAL SEE DEMO REFERENCE 1, THIS SHEET

EXISTING ASPHALT PAVEMENT REMOVAL SEE DEMO REFERENCE 2, THIS SHEET

STRUCTURE REMOVAL (BUILDINGS, RETAINING WALLS, ETC.) SEE DEMO REFERENCE 3, 4, 5, 6, 7, THIS SHEET

SAW CUT LINE (PROVIDE CLEAN, STRAIGHT EDGE AT EXISTING PAVEMENT)

EXISTING FENCE TO BE REMOVED SEE DEMO REFERENCE 8, THIS SHEET LIMITS OF DISTURBANCE

#### **DEMOLITION REFERENCES:**

- 1. REMOVE EXISTING CONCRETE PAVEMENT.
- 2. REMOVE EXISTING ASPHALT PAVEMENT.

3. REMOVE EXISTING BUILDINGS, INCLUDING ALL UTILITY CONNECTIONS, PAVEMENT, SITE FURNISHINGS, ETC. SEE BUILDING DEMOLITION NOTE FOR ADDITIONAL INFORMATION.

- 4. REMOVE EXISTING PATIO AND STRUCTURE
- 5. REMOVE EXISTING WALL WITH FOUNDATION.
- 6. REMOVE EXISTING CONCRETE STAIRS WITH
- FOUNDATION.
- 7. REMOVE EXISTING CURB
- 8. REMOVE EXISTING FENCE AND FOOTING FOUNDATIONS
- 9. REMOVE STORM LINES (SIZES VARY)

## SITE DEMO NOTES

1. SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.

2. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS IMMEDIATELY UPON DISCOVERY.

3. CONTRACTOR TO COORDINATE WITH OWNER FOR STORAGE LOCATIONS FOR CONSTRUCTION MATERIALS TO BE SALVAGED. PRIOR TO BEGINNING DEMOLITION, ENSURE EROSION AND INLET PROTECTION ARE IN PLACE.

5. DISPOSE OF DEMOLISHED MATERIALS LEGALLY OFF SITE.

6. ANY DAMAGES TO EXISTING ITEMS TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.

7. SITE BOUNDARY SHALL BE FENCED WITH STANDARD STAKED ORANGE CONSTRUCTION FENCING.

8. ALL LIGHTING AND LIGHTING EQUIPMENT TO REMAIN SHALL BE PROTECTED IN PLACE WITH TREE PROTECTION FENCING PRIOR TO DEMOLITION.

9. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT BY GEOHYDRO ENGINEERS, DATED MAY 30, 2019. GEOHYDRO REPORT NO. 190367.20.

10. CONTRACTOR TO BACKFILL AND COMPACT ANY HOLES/VOIDS CAUSED BY DEMO WORK.

11. EXISTING UTILITIES MAY BE PRESENT THAT WERE NOT IDENTIFIED ON THE SURVEY. IF THE CONTRACTOR ENCOUNTERS ANY SUCH UTILITY, CONTRACTOR TO NOTIFY OWNER AND DESIGNER IMMEDIATELY. ANY UTILITIES IDENTIFIED TO BE CUT OFF SHALL BE REMOVED THE THE EXTENT NECESSARY FOR PROPOSED WORK, THEM CAPPED AND SEALED IN PLACE.

## **GENERAL BUILDING DEMOLITION NOTES**

GENERAL INTENT IS TO DEMOLISH AND REMOVE EXISTING CONSTRUCTION AS NOTED AND AS REQUIRED FOR THE NEW DESIGN. COORDINATE THIS WORK WITH EXISTING CONDITIONS AND ALL CONTRACT DOCUMENTS.

INTENT IS FOR ENTIRE BUILDING TO BE REMOVED IN ENTIRETY

ROOF, INTERIOR AND EXTERIOR WALLS, DOORS, WINDOWS, ETC TO BE REMOVED. ALL FINISHES AND FURNISHINGS TO BE REMOVED.

BUILDING FOUNDATION TO BE REMOVED AND BACKFILLED AND COMPACTED AS REQUIRED TO PROVIDE ACCEPTABLE SOILS FOR NEW CONSTRUCTION.

CAP ALL UTILITIES TO REMAIN FOR FUTURE USE AS REQUIRED.

(1) EXISTING ELECTRICAL SYSTEM TO BE REMOVED IN ENTIRETY (2) EXISTING PLUMBING SYSTEM TO BE REMOVED IN ENTIRETY. (3) EXISTING HVAC DUCTWORK TO BE REMOVED IN ENTIRETY

C. THE CONTRACTOR SHALL VISIT PROJECT DURING BID PERIOD, ATTEND ALL PRE-BID CONFERENCES, AND BECOME FAMILIAR WITH THE ENTIRE SCOPE OF WORK. CONTRACTOR'S BID PROPOSAL SHALL BE BASED IN PART BY HIS OBSERVANCE OF ALL EXISTING CONDITIONS.

CONTRACTOR SHALL CLARIFY HIS BID TO INDICATE ANY AREAS THEY WERE NOT ABLE TO GAIN ACCESS TO VIEW EXISTING CONDITIONS.

D. POOL WILL BE CLOSED DURING DEMOLITION AND CONSTRUCTION OF RENOVATION PROJECT. COORDINATE AND SCHEDULE ALL WORK WITH OWNER AND BUILDING OFFICIALS, INCLUDING MAINTAINING OF ANY REQUIRED EXITING.

E. THE CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR ALL SHORING, BRACING, SCAFFOLDING, ETC., AND THEIR STRENGTH AND ADEQUACY, PROPER USE, OPERATION, AND MAINTENANCE,

UNLESS OTHERWISE DIRECTED, SHOWN, OR SPECIFIED, ALL MATERIALS AND EQUIPMENT REMOVED OR DEMOLISHED, EXCEPT THOSE NOTED TO BE SALVAGED OR RELOCATED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF LEGALLY.

G. CARE SHALL BE TAKEN TO AVOID DAMAGING OR DISTURBING EXISTING CONSTRUCTION WHICH IS INDICATED TO REMAIN. AT NO EXPENSE TO OWNER, CONTRACTOR SHALL MAKE ANY REPAIRS NECESSARY TO RECTIFY DAMAGE AND RESTORE EXISTING CONSTRUCTION TO UNDAMAGED STATE EXISTING PRIOR TO COMMENCEMENT OF WORK.

H. EXISTING ELECTRICAL, PLUMBING, VENT, AND GAS LINES THAT ARE TO BE ABANDONED SHALL BE CAPPED IN WALLS OR UNDER FLOOR, OR AS NOTED IN PLAN DEMOLITION NOTES, OR AS REQUIRED BY CODE. PATCH DEMOLISHED AREAS FLUSH WITH ADJACENT SURFACES USING LIKE MATERIALS. REMOVE WIRING BACK TO PANEL.

I. WHERE EXISTING ACTIVE ELECTRICAL EQUIPMENT, COMMUNICATION LINES, ETC. (THAT REMAIN) ARE ATTACHED TO WALLS THAT WILL BE REMOVED, REROUTE AND RE-SUPPORT LINES AS NECESSARY FOR TEMPORARY USE FOR PROPER INSTALLATION OF NEW CONSTRUCTION.

VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, SANITARY SEWERS, ELECTRICAL AND FOUNDATIONS, ETC. BEFORE COMMENCING ANY SAWCUTTING OR DIGGING.

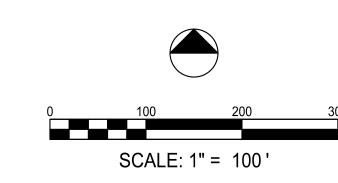
K. REFER TO REMAINDER OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION AND ADDITIONAL MISCELLANEOUS DEMOLITION.

L. HAZARDOUS MATERIALS HAVE NOT BEEN IDENTIFIED IN THE EXISTING STRUCTURES.

ABATEMENT SERVICES.

1. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. 2. IF HAZARDOUS MATERIALS ARE ENCOUNTERED OR IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER.

3. DECISION WILL BE MADE ON DIRECTION OF ABATEMENT: a. OPTION 1 - HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT BY LICENSED CONTRACTOR FAMILIAR AND ALE TO PERFORM ALL REQUIRED HAZARDOUS MATERIALS ABATEMENT SERVICES. b. OPTION 2 - HAZARDOUS MATERIALS WILL BE REMOVED BY GENERAL CONTRACTOR UNDER A SEPARATE CONTRACT BY LICENSED CONTRACTOR FAMILIAR AND ALE TO PERFORM ALL REQUIRED HAZARDOUS MATERIALS







	MURPHEY CANDLER TRAIL - SOUTH	SITE DEVELOPMENT PLAN	CITY OF BROOKHAVEN	GEORGIA
SUB	MITTALS	S/RE	VISIONS	
NO.	DATE		DESCRIPTIO	N
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C0.04

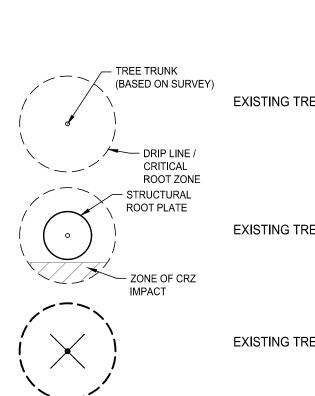


#### EXISTING TREE INFORMATION WAS PROVIDED ON THE SURVEY, PREPARED BY TERRAMARK LAND SURVEYING INC., (NO. TM 20-221; DATE: 11-17-2020). REVISIONS TO LIST OF EXISTING TREES BASED ON FIELD VISIT.

#### LEGEND:

\_\_\_\_ LOD \_\_\_\_

\_\_\_\_\_



EXISTING TREE TO REMAIN - NO IMPACT

LIMITS OF CONSTRUCTION/ DISTURBANCE

TREE PROTECTION FENCE, REF. 05/C4.01

EXISTING TREE TO REMAIN - CRZ IMPACT

EXISTING TREE TO BE REMOVED

#### TREES TO REMAIN

NO.	SPECIES	DBH (INCHES)	NOTES
3	HARDWOOD	24.0	PROPOSED TRAIL LOCATED IN EXISTING ROAD BED - MINIMAL IMPACT TO CRZ
4	SYCAMORE	27.0	SPECIMEN
5	HARDWOOD	27.0	SPECIMEN
6	SYCAMORE	24.0	SPECIMEN
7	SYCAMORE	25.0	SPECIMEN
8	SWEET GUM	27.0	
9	HARDWOOD	26.0	SPECIMEN
10	POPLAR	25.0	
11	SWEET GUM	27.0	
12	HARDWOOD	24.0	SPECIMEN
13	POPLAR	38.0	SPECIMEN
14	POPLAR	29.0	SPECIMEN
15	POPLAR	37.0	SPECIMEN
ΤΟΤΑ	L: 333 DBH (INCHES)		

#### TO BE REMOVED

NO.	SPECIES	(INCHES)	NOTES
1	BOX ELDER	24.0	DAMAGED TREE
2	PINE	24.0	LOCATED IN WORK AREA

TOTAL: 48 DBH TOTAL / 0 INCHES SPECIMEN

TREES LOCATED IN SEWER EASEMENT DO NOT COUNT TOWARDS CALCULATIONS.

#### NOTES:

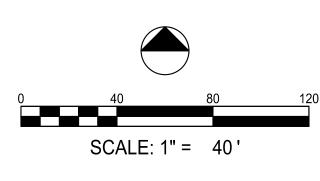
- 1. EXISTING SITE EXCEEDS REQUIRED TREE DENSITY AFTER
- EXISTING TREE REMOVAL. 2. REFER TO SHEET C0.01 FOR CITY OF BROOKHAVEN TREE
- PROTECTION NOTES. 3. REFER TO C0.11 TREE PROTECTION PLAN FOR PROPOSED TREE LOCATIONS AND TREE PROTECTION/ REPLACEMENT CALCULATIONS.

TREE PROTECTION - MACHINE TRENCHING NO MACHINE TRENCHING THROUGH CRITICAL ROOT ZONE.

HAND-DIG WHERE SILT FENCE (SD-1) CROSSES THE CRITICAL ROOT ZONE OF ANY TREE. ROOT PRUNE AS NEEDED ACCORDING TO ISA / ANSI PROFESSIONAL STANDARDS.

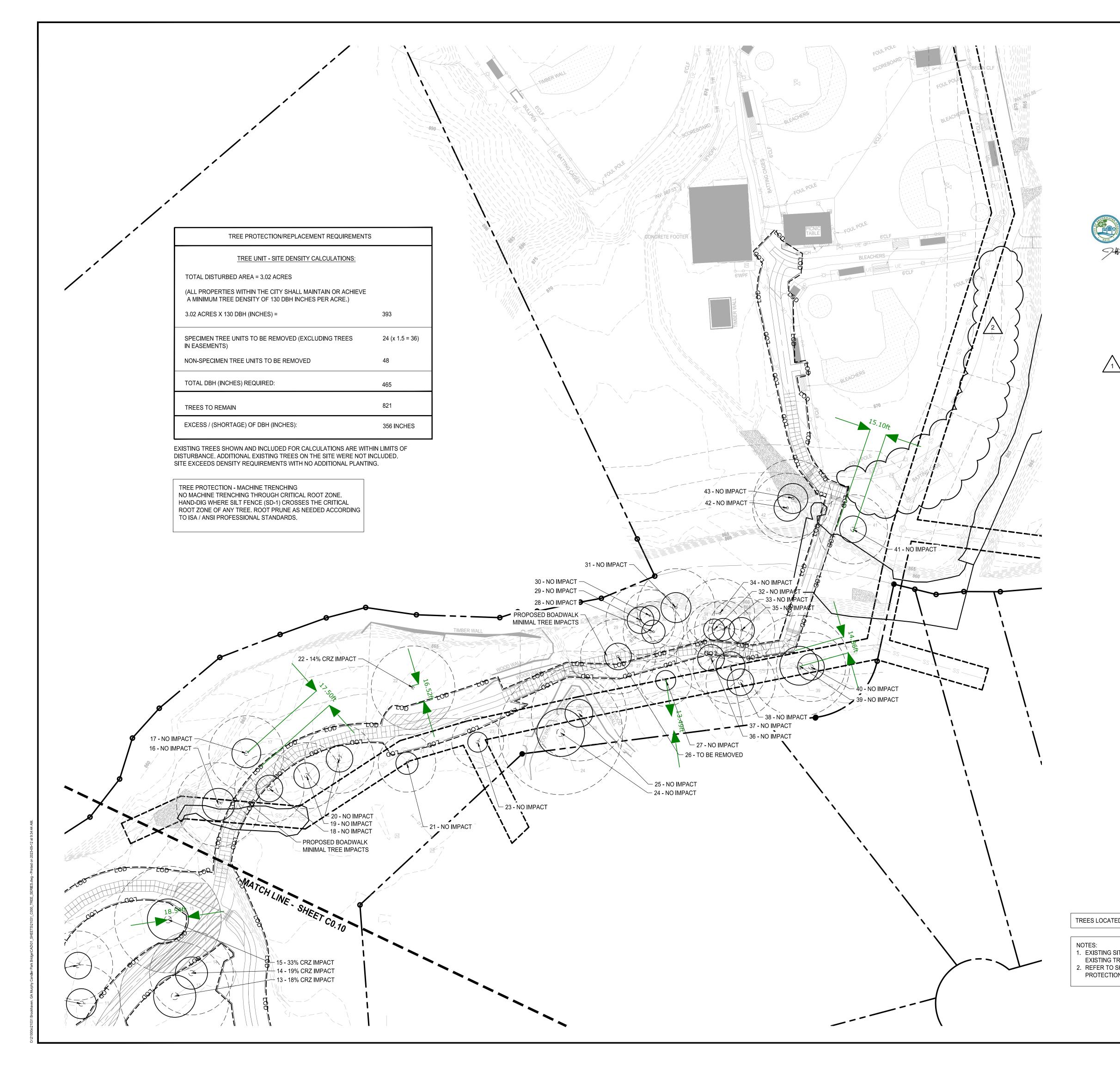


Know what's **below. Call** before you dig.



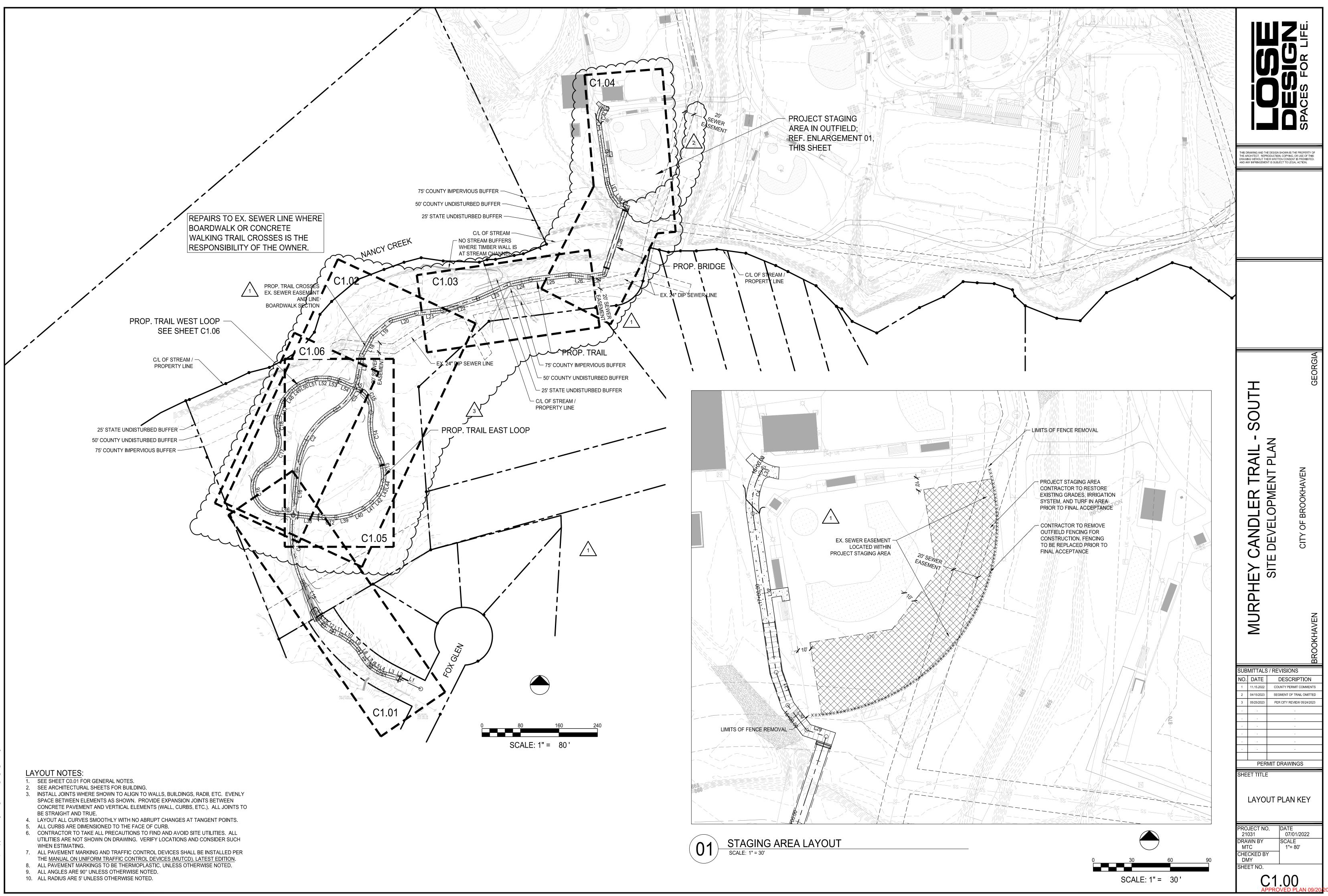


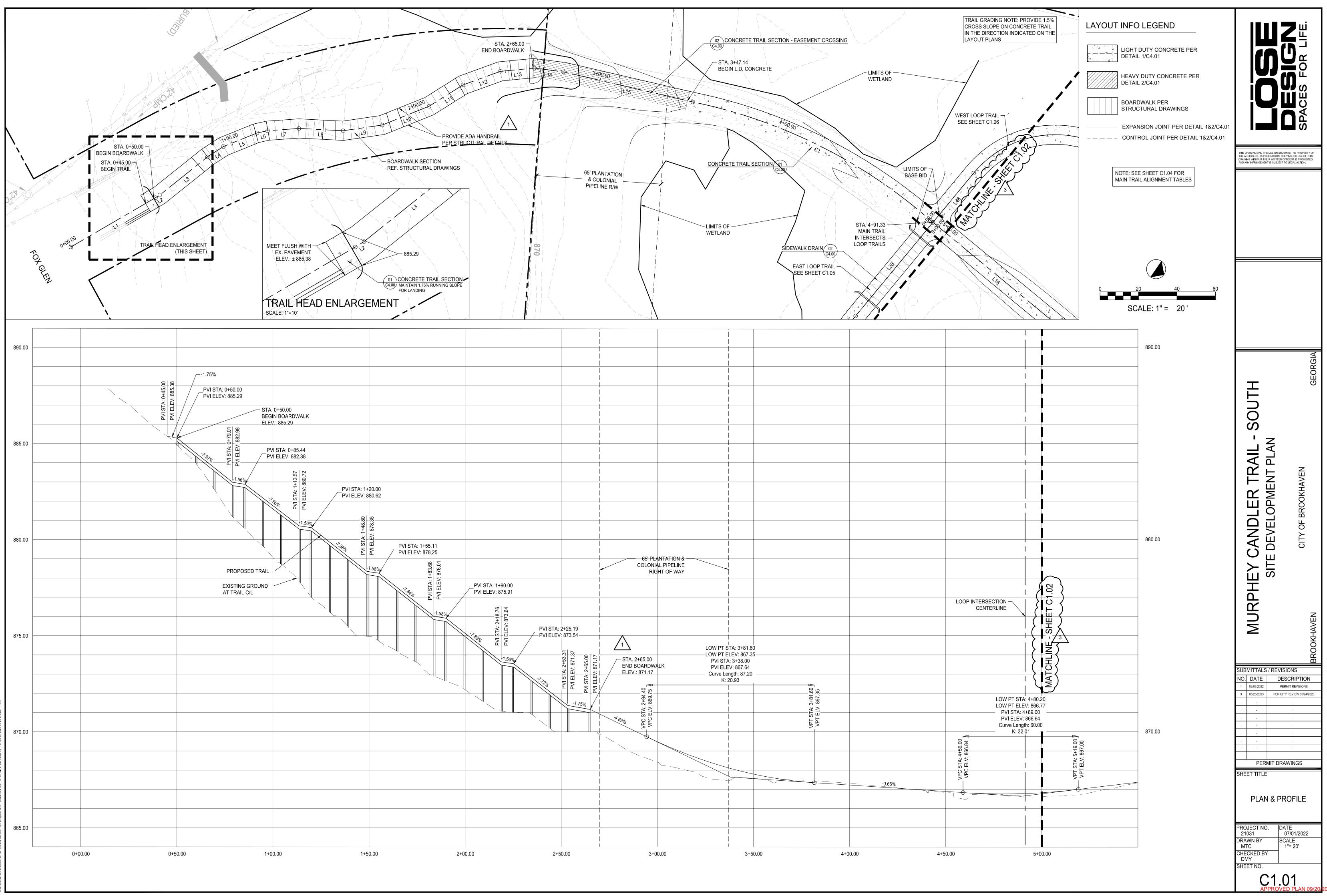
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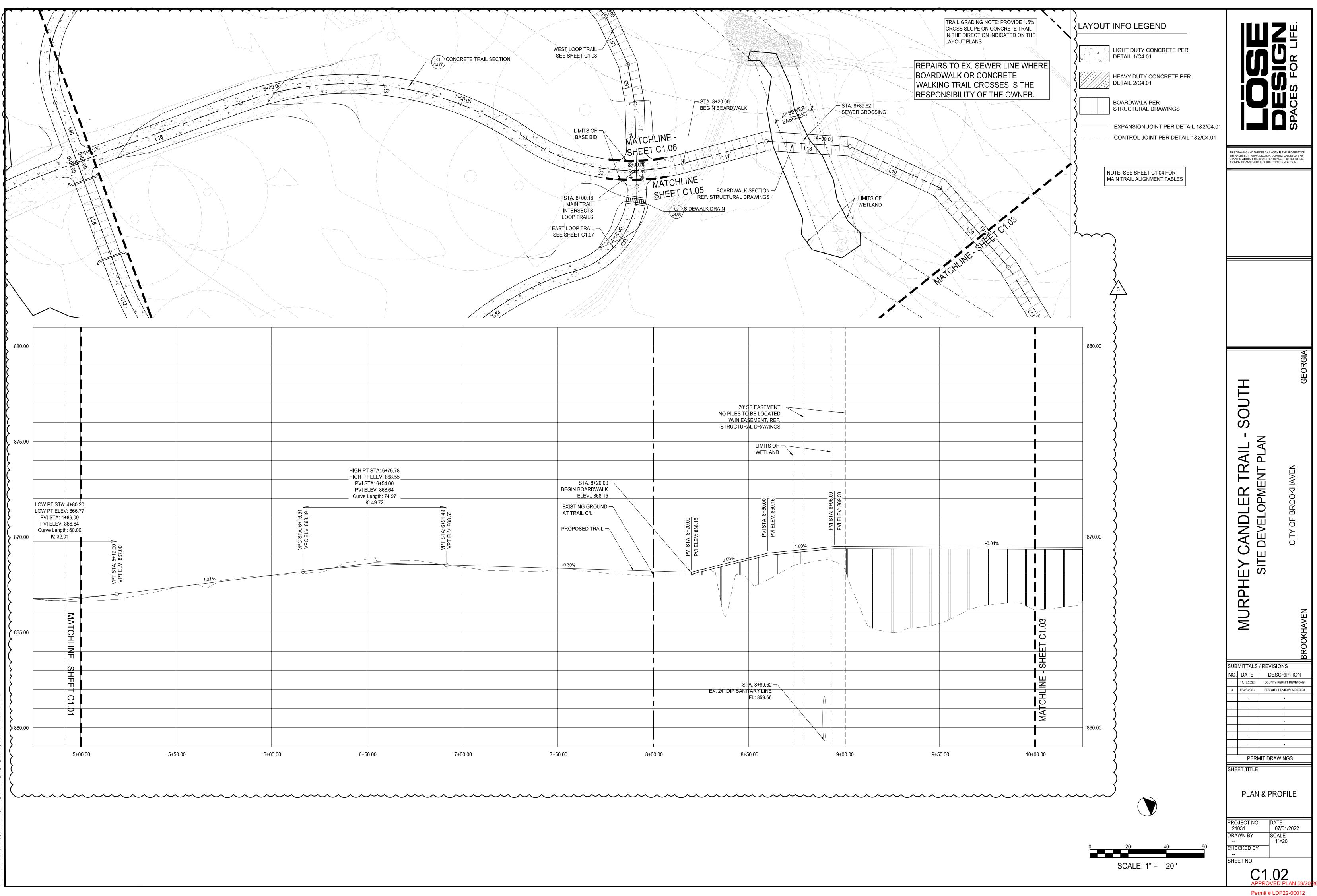
# EXISTING TREE INFORMATION WAS PROVIDED ON THE SURVEY, PREPARED BY

	PROVED ARBORIST	EXISTING TREE INFORMATION WAS PROVIDED ON THE SURVEY, PREPA TERRAMARK LAND SURVEYING INC 20-221; DATE: 11-17-2020). REVISIONS TO LIST OF EXISTING TO BASED ON FIELD VISIT. LOD LIMITS OF CONSTRUCTION/ DISTUR TREE PROTECTION FENCE, REF. 0 (CASED ON SURVEY) (BASED ON SURVEY) (CASED O	ARED BY C., (NO. TM REES RBANCE 5/C4.01 MN - NO IMPACT AIN - CRZ IMPACT	
			MOVED	
^				
1	TREES TO REMAIN NO. SPECIES			
	NO. SPECIES 	(INCHES) NOTES 29.0 SPECIMEN; NO IMPACT	<b> </b>	
	17 MAPLE	26.0 SPECIMEN; NO IMPACT		
	18 SYCAMORE	24.0 SPECIMEN; NO IMPACT		_
	19 SYCAMORE	23.0 NO IMPACT		לב פר
	20 HARDWOOD	22 NO IMPACT		D L
	21 OAK	20.0 NO IMPACT		פ
	22 HARDWOOD	29.0 MULTI-STEM; SPECIMEN; 14% CRZ IMPACT	SOUT	
	23 OAK	18.0 NO IMPACT	Ō	
	24 HARDWOOD	43.0 MULTI-STEM; SPECIMEN; NO IMPACT	S	
	25 OAK	25.0 MULTI-STEM, SPECIMEN; NO IMPACT		
	27 MAGNOLIA	18.0 NO IMPACT	RAIL - T PLAN	
	28 OAK	21.0 NO IMPACT		
	29 OAK	24.0 SPECIMEN; NO IMPACT	HAVEN HAVEN	
	30 OAK	18 NO IMPACT		
	31 OAK	27.0 SPECIMEN; NO IMPACT	ANDLER DEVELOPM CITY OF BROOK	
	32 SWEETGUM	19.0 NO IMPACT		
	33 SWEETGUM	20 NO IMPACT		
	34 OAK	24 SPECIMEN; NO IMPACT	E DEVEL	
	35 OAK	23 NO IMPACT		
	36 OAK	24 SPECIMEN; NO IMPACT		
	37 SWEETGUM	26 NO IMPACT		
	38 OAK	24 SPECIMEN; NO IMPACT	MURPH	
	39 POPLAR	35 SPECIMEN; NO IMPACT		
	40 OAK	24 SPECIMEN; NO IMPACT	N N N N N	
	41 HARDWOOD	24 SPECIMEN; NO IMPACT		<u>ה</u>
	42 POPLAR	24 SPECIMEN; NO IMPACT		Й П
	43 HARDWOOD	27 SPECIMEN; NO IMPACT	SUBMITTALS / REVISIONS NO. DATE DESCRIPTION	
	TOTAL: 661 DBH (INCHE	S)	1 09.06.2022 PERMIT REVISIONS	
	TREES TO BE REM	OVED	2 05.15.2023 SEGMENT OF TRAIL OMITTER	D
	NO. SPECIES	DBH (INCHES) NOTES		
	26 MAPLE	24.0 SPECIMEN; LOCATED IN PROPOSED BOARDWALK		
	TOTAL: 24 DBH (SPECIN	IEN) TO BE REMOVED		
			PERMIT DRAWINGS	
<b></b>			SHEET TITLE	
TED IN S	EWER EASEMENT DO NOT C	DUNT TOWARDS CALCULATIONS. Know what's below	TREE PROTECTION	
		Call before yo		
	EMOVAL. C0.01 FOR CITY OF BROOKH 'ES	AVEN TREE	PROJECT NO. DATE 21031 07/01/2022	=
	LJ.		21031         07/01/2022           DRAWN BY         SCALE           DMY         1" = 40'	-
		SCALE: 1" = 4	SHEFT NO	
			C0.11	
			APPROVED PLAN 09 Permit # LDP22-00012	

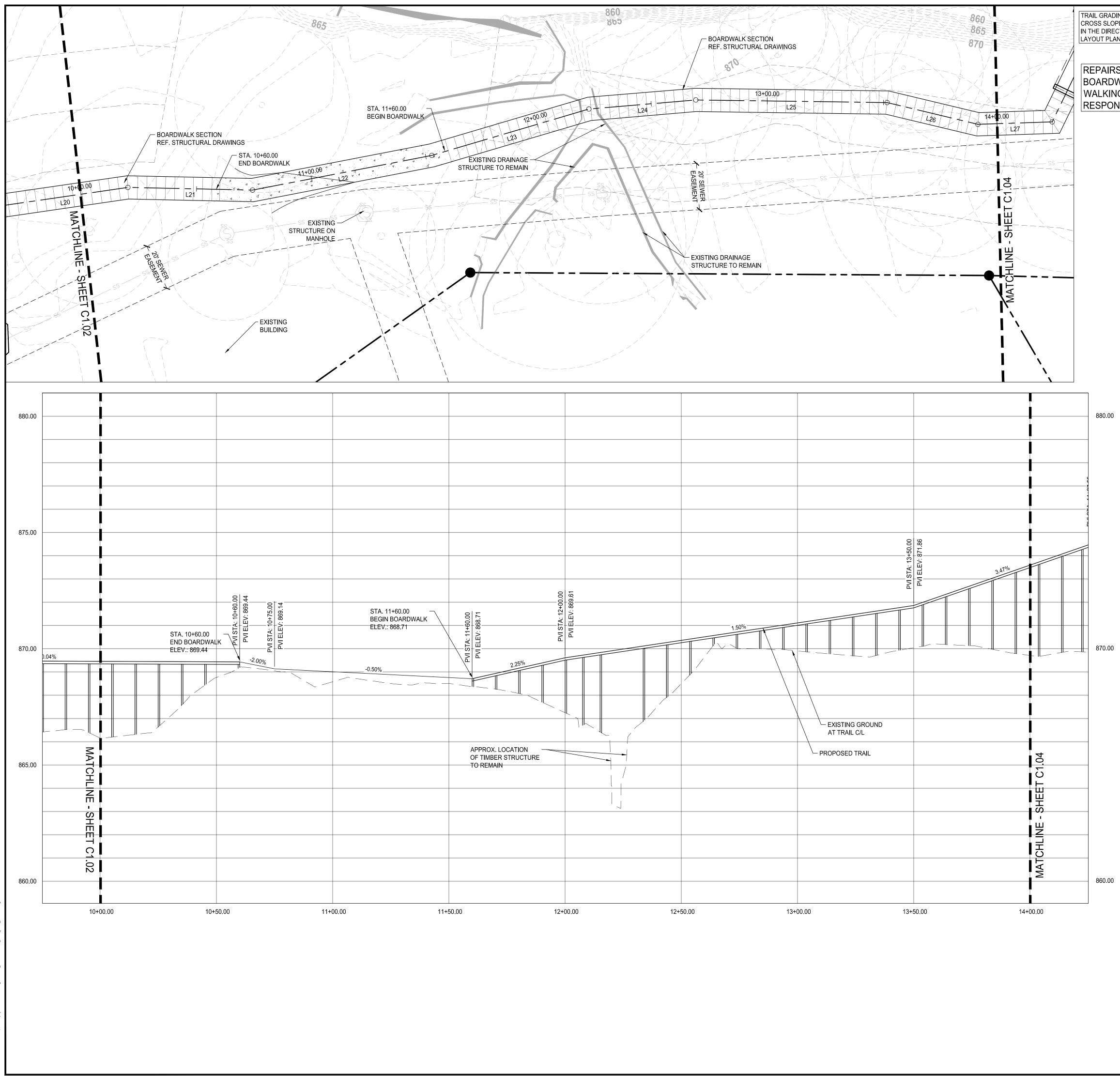




1031 Brookhaven, GA Murphy Candler Park BridgelCADI01\_SHEETS/21031\_C100\_SITE\_SERIES.dwg - Printed on 2023-05-25



1031 Brookhaven, GA Murphy Candler Park Bridge/CAD/01\_SHEETS/21031\_C100\_SITE\_SERIES.dwg - Printed on 2023.

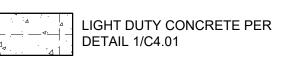


06/21031 Brookhaven, GA Murphy Candler Park Bridge/CAD/01\_SHEETS/21031\_C100\_SITE\_SERIES dwg - Printed on 2023-05-25 at 1

ADING NOTE: PROVIDE 1.5%
OPE ON CONCRETE TRAIL
RECTION INDICATED ON THE
LANS

#### REPAIRS TO EX. SEWER LINE WHERE BOARDWALK OR CONCRETE WALKING TRAIL CROSSES IS THE RESPONSIBILITY OF THE OWNER.

LAYOUT INFO LEGEND





HEAVY DUTY CONCRETE PER DETAIL 2/C4.01

BOARDWALK PER STRUCTURAL DRAWINGS

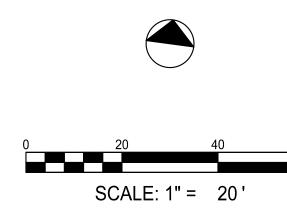
EXPANSION JOINT PER DETAIL 1&2/C4.01

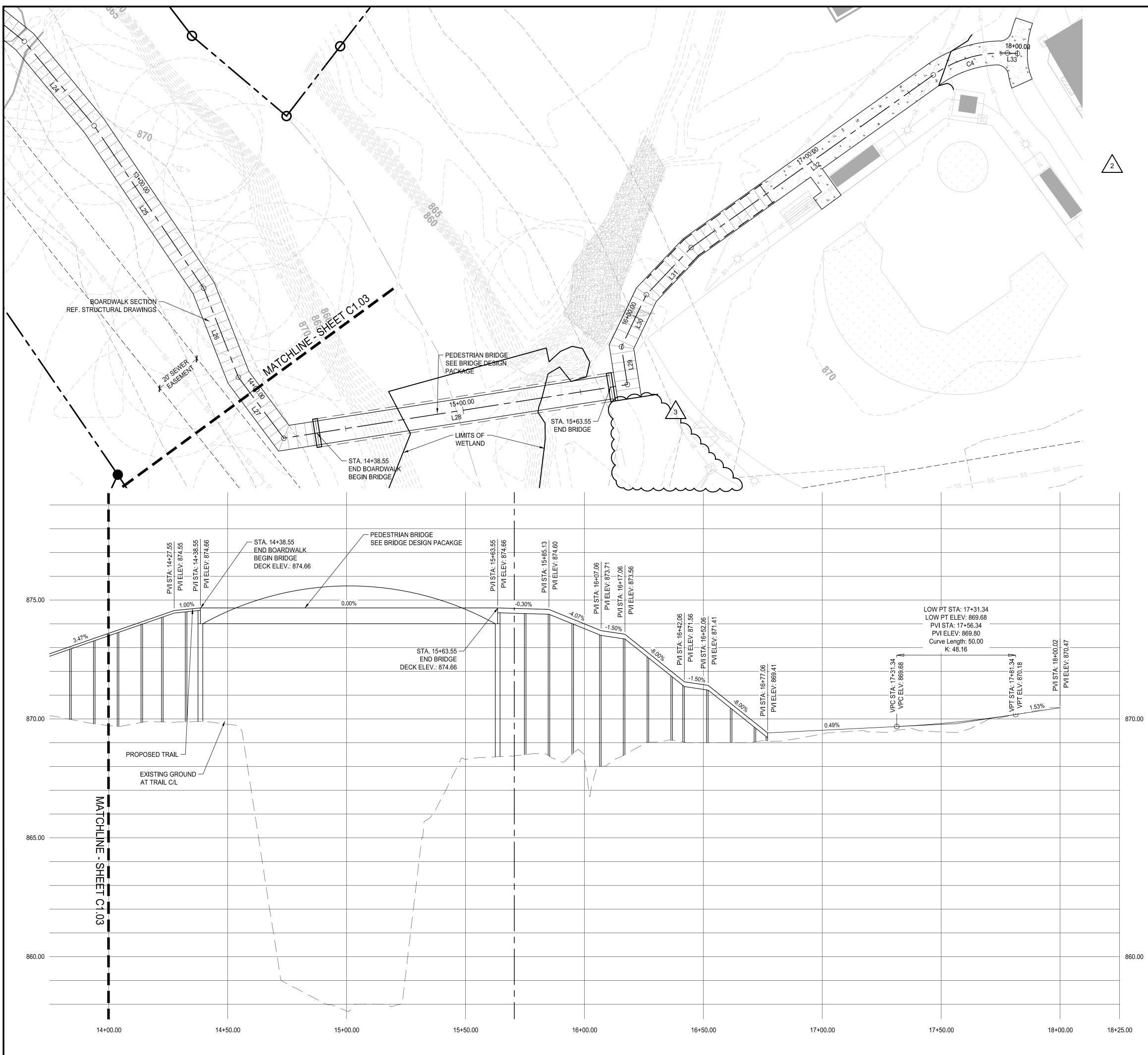
NOTE: SEE SHEET C1.04 FOR MAIN TRAIL ALIGNMENT TABLES



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PERMIT DF PERMIT DF SHEET TITLE PLAN & P PROJECT NO. [I 21031 DRAWN BY MTC CHECKED BY DMY	PROFILE DATE 07/01/2022 SCALE 1" = 20'





121031 Brookhaven, GA Murphy Candler Park Bridge\CAD\01\_SHEETS\21031\_C100\_SITE\_SERIES.dwg - Printed on 2023-05-25 at 11:

TRAIL GRADING NOTE: PROVIDE 1.5% CROSS SLOPE ON CONCRETE TRAIL IN THE DIRECTION INDICATED ON THE LAYOUT PLANS

REPAIRS TO EX. SEWER LINE WHERE BOARDWALK OR CONCRETE WALKING TRAIL CROSSES IS THE RESPONSIBILITY OF THE OWNER.

### LAYOUT INFO LEGEND



HEAVY DUTY CONCRETE PER DETAIL 2/C4.01

BOARDWALK PER STRUCTURAL DRAWINGS

EXPANSION JOINT PER DETAIL 1&2/C4.01-----CONTROL JOINT PER DETAIL 1&2/C4.01



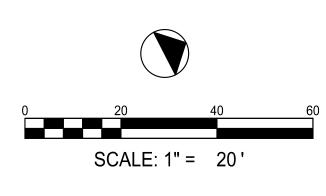
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### MAIN TRAIL ALIGNMENT TABLES

Line Table: Alignments							
Line #	Length	Direction	Start Point	End Point			
L1	50.980	N64° 48' 39.29"W	(2247775.8097,1420397.2728)	(2247729.6777,1420418.9701)			
L2	2.660	N66° 18' 46.52"W	(2247729.6777,1420418.9701)	(2247727.2422,1420420.0386)			
L3	31.683	N73° 17' 09.25"W	(2247727.2422,1420420.0386)	(2247696.8980,1420429.1504)			
L4	9.914	N67° 24' 20.65"W	(2247696.8980,1420429.1504)	(2247687.7447,1420432.9595)			
L5	18.828	N56° 39' 23.90"W	(2247687.7447,1420432.9595)	(2247672.0156,1420443.3086)			
L6	5.654	N46° 36' 27.65"W	(2247672.0156,1420443.3086)	(2247667.9070,1420447.1929)			
L7	16.349	N38° 43' 00.55"W	(2247667.9070,1420447.1929)	(2247657.6812,1420459.9490)			
L8	22.988	N31° 35' 56.78"W	(2247657.6812,1420459.9490)	(2247645.6359,1420479.5291)			
L9	20.529	N42° 54' 31.97"W	(2247645.6359,1420479.5291)	(2247631.6594,1420494.5650)			
L10	26.319	N56° 25' 37.28"W	(2247631.6594,1420494.5650)	(2247609.7308,1420509.1194)			
L11	20.892	N66° 41' 04.87"W	(2247609.7308,1420509.1194)	(2247590.5450,1420517.3882)			
L12	20.635	N54° 33' 11.26"W	(2247590.5450,1420517.3882)	(2247573.7349,1420529.3552)			
L13	17.738	N40° 07' 47.24"W	(2247573.7349,1420529.3552)	(2247562.3026,1420542.9172)			
L14	15.140	N27° 10' 27.40"W	(2247562.3026,1420542.9172)	(2247555.3883,1420556.3859)			
L15	69.264	N21° 30' 58.95"W	(2247555.3883,1420556.3859)	(2247529.9845,1420620.8232)			
L16	93.134	N04° 58' 22.88"E	(2247510.4700,1420757.3801)	(2247518.5434,1420850.1633)			
L17	45.125	N10° 03' 52.64"E	(2247645.2634,1421046.8707)	(2247653.1494,1421091.3013)			
L18	43.854	N28° 38' 26.85"E	(2247653.1494,1421091.3013)	(2247674.1696,1421129.7898)			
L19	51.691	N49° 43' 45.29"E	(2247674.1696,1421129.7898)	(2247713.6094,1421163.2026)			
L20	55.140	N74° 07' 20.09"E	(2247713.6094,1421163.2026)	(2247766.6458,1421178.2882)			

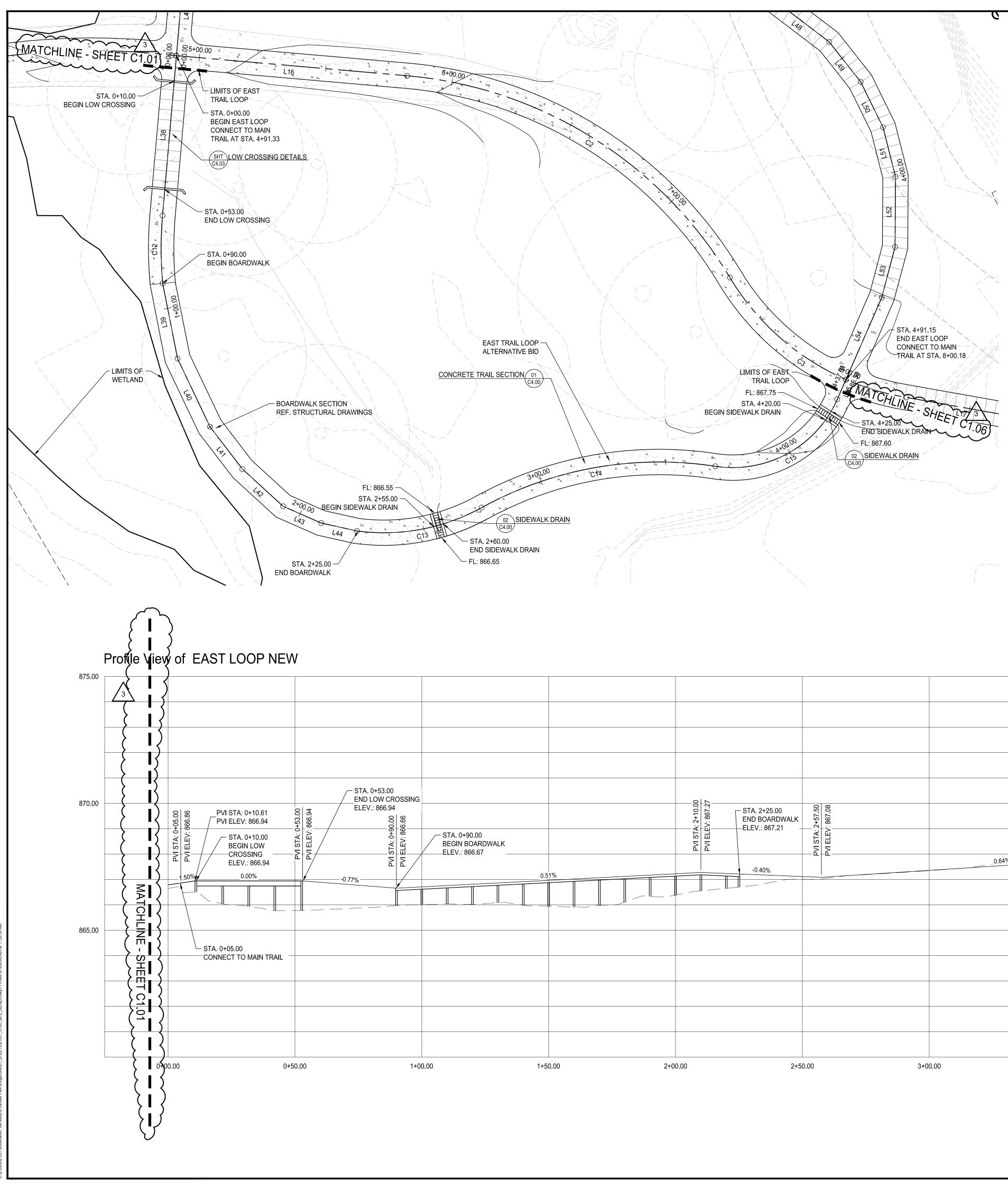
Line Table: Alignments							
Line #	Length	Direction	Start Point	End Point			
L21	53.657	N83° 37' 41.80"E	(2247766.6458,1421178.2882)	(2247819.9709,1421184.2429)			
L22	78.556	N71° 27' 10.45"E	(2247819.9709,1421184.2429)	(2247894.4470,1421209.2303)			
L23	70.445	N65° 56' 30.95"E	(2247894.4470,1421209.2303)	(2247958.7722,1421237.9479)			
L24	46.162	N77° 32' 21.28"E	(2247958.7722,1421237.9479)	(2248003.8467,1421247.9083)			
L25	82.297	N83° 11' 05.32"E	(2248003.8467,1421247.9083)	(2248085.5625,1421257.6743)			
L26	40.177	S84° 09' 02.94"E	(2248085.5625,1421257.6743)	(2248125.5305,1421253.5798)			
L27	31.991	N80° 30' 13.47"E	(2248125.5305,1421253.5798)	(2248157.0827,1421258.8577)			
L28	146.214	N18° 16' 44.56"E	(2248157.0827,1421258.8577)	(2248202.9419,1421397.6935)			
L29	16.111	N71° 43' 15.52"W	(2248202.9419,1421397.6935)	(2248187.6443,1421402.7464)			
L30	24.278	N37° 17' 33.20"W	(2248187.6443,1421402.7464)	(2248172.9347,1421422.0608)			
L31	27.325	N19° 17' 41.12"W	(2248172.9347,1421422.0608)	(2248163.9059,1421447.8506)			
L32	125.039	N08° 20' 03.31"W	(2248163.9059,1421447.8506)	(2248145.7818,1421571.5686)			
L33	4.251	N30° 14' 22.56"E	(2248151.7724,1421603.4903)	(2248153.9133,1421607.1628)			

	Curve Table: Alignments								
Curve #	Radius	Length	Chord Direction	Start Point	End Point				
C1	270.000	139.490	N08° 07' 57.79"W	(2247529.9845,1420620.8232)	(2247510.4700,1420757.3801)				
C2	165.000	155.697	N32° 00' 20.26"E	(2247518.5434,1420850.1633)	(2247598.0354,1420977.3492)				
C3	100.002	86.740	N34° 11' 21.98"E	(2247598.0354,1420977.3492)	(2247645.2634,1421046.8707)				
C4	50.000	33.079	N10° 37' 43.72"E	(2248145.7818,1421571.5686)	(2248151.7724,1421603.4903)				





#### PROJECT NO. 21031 DRAWN BY MTC CHECKED BY DMY SHEET NO. C1.04



### EAST TRAIL LOOP ALIGNMENT TABLES

	Line Table: Alignments							
Line #	Length	Direction	Start Point	End Point				
L38	63.221	S85° 01' 37.12"E	(2247510.6296,1420759.2141)	(2247573.6125,1420753.7336)				
L39	30.167	N78° 49' 43.78"E	(2247600.3626,1420753.8003)	(2247629.9580,1420759.6449)				
L40	29.718	N64° 32' 07.33"E	(2247629.9580,1420759.6449)	(2247656.7885,1420772.4221)				
L41	21.002	N52° 31' 01.54"E	(2247656.7885,1420772.4221)	(2247673.4541,1420785.2021)				
L42	21.771	N42° 30' 04.75"E	(2247673.4541,1420785.2021)	(2247688.1625,1420801.2528)				
L43	16.377	N23° 42' 08.39"E	(2247688.1625,1420801.2528)	(2247694.7457,1420816.2481)				
L44	14.500	N12° 34' 43.94"E	(2247694.7457,1420816.2481)	(2247697.9036,1420830.4000)				
L45	8.490	N66° 24' 11.23"W	(2247646.0073,1421019.6720)	(2247638.2272,1421023.0705)				

Curve Table: Alignments							
Curve #	Radius	Length	Chord Direction	Start Point	End Point		
C12	150.372	26.786	N89° 51' 26.02"E	(2247573.6125,1420753.7336)	(2247600.3626,1420753.8003)		
C13	79.827	50.817	N10° 37' 23.61"W	(2247697.9036,1420830.4000)	(2247688.6928,1420879.5073)		
C14	145.000	95.218	N10° 01' 54.86"W	(2247688.6928,1420879.5073)	(2247672.4026,1420971.5935)		
C15	45.000	58.979	N28° 46' 01.21"W	(2247672.4026,1420971.5935)	(2247646.0073,1421019.6720)		

	0							868.00
	PVI STA: 2+10.00 PVI ELEV: 867.27	– STA. 2+25.00 END BOARDWALK –ELEV.: 867.21 –	PVI STA: 2+57.50 PVI ELEV: 867.08				– EXISTING GROUND	PVI ELEV: 868.00
	PVI ST PVI EL		PVI STA					
		-0.40%			0.64%			
							PROPOSED TRAIL	
2+0	0.00	2+5	0.00	3+0	0.00	3+50	0.00 4-	-00.00

## LAYOUT INFO LEGEND





HEAVY DUTY CONCRETE PER DETAIL 2/C4.01



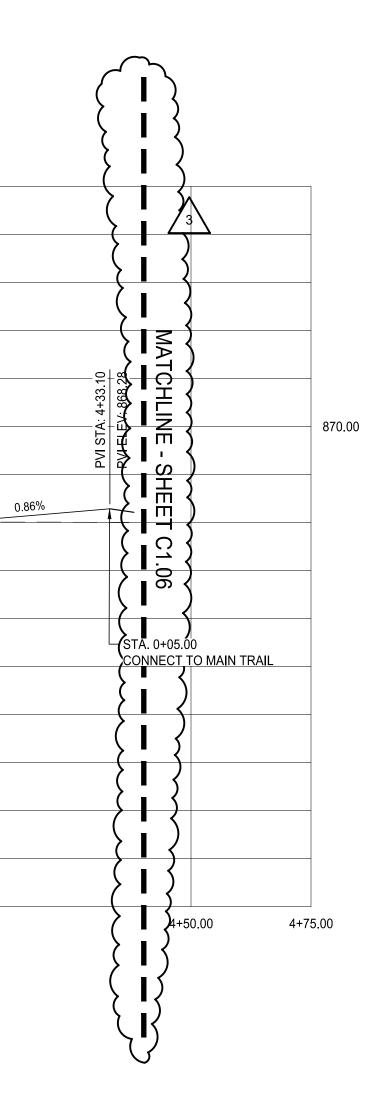
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SCALE: 1" = 20 '

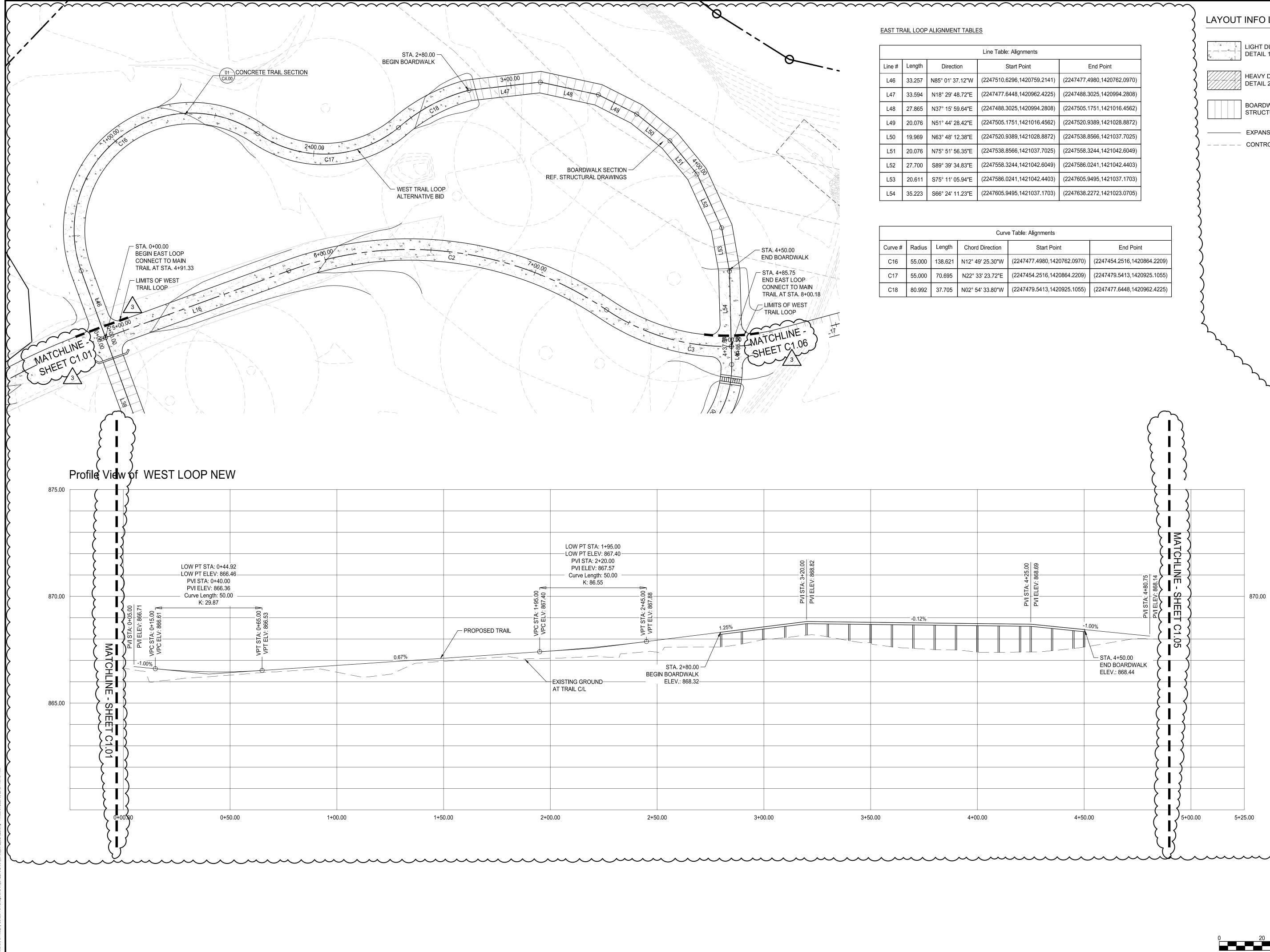
------ EXPANSION JOINT PER DETAIL 1&2/C4.01 – – – – CONTROL JOINT PER DETAIL 1&2/C4.01



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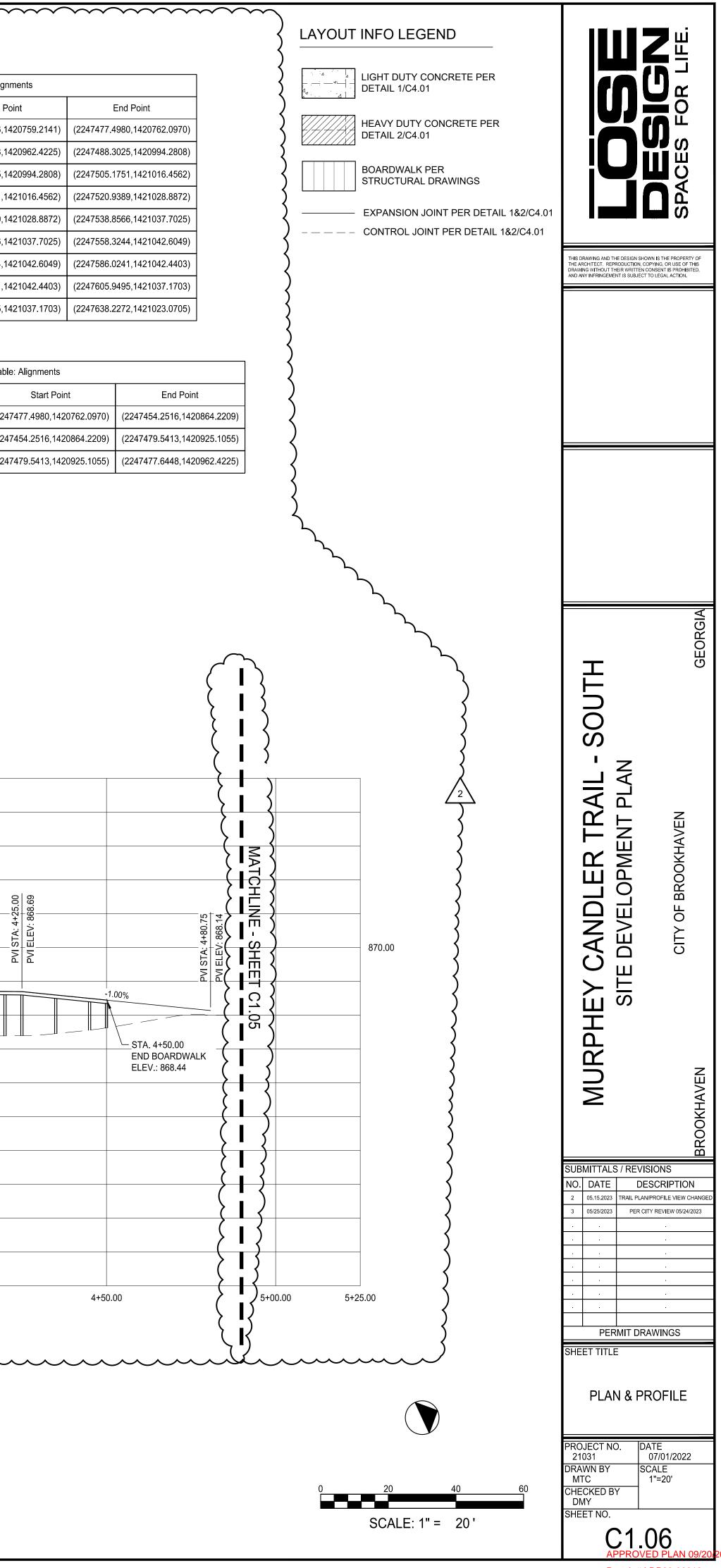
		SITE DEVELOPMENT PLAN	CITY OF BROOKHAVEN	BROOKHAVEN GEORGIA
SUB NO.	MITTALS DATE		VISIONS DESCRIPTIO	
2	05/15	TRAIL F	R CITY REVIEW 05/24	HANGED
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			DRAWINGS	
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DN SHE	ET NO.		.05	



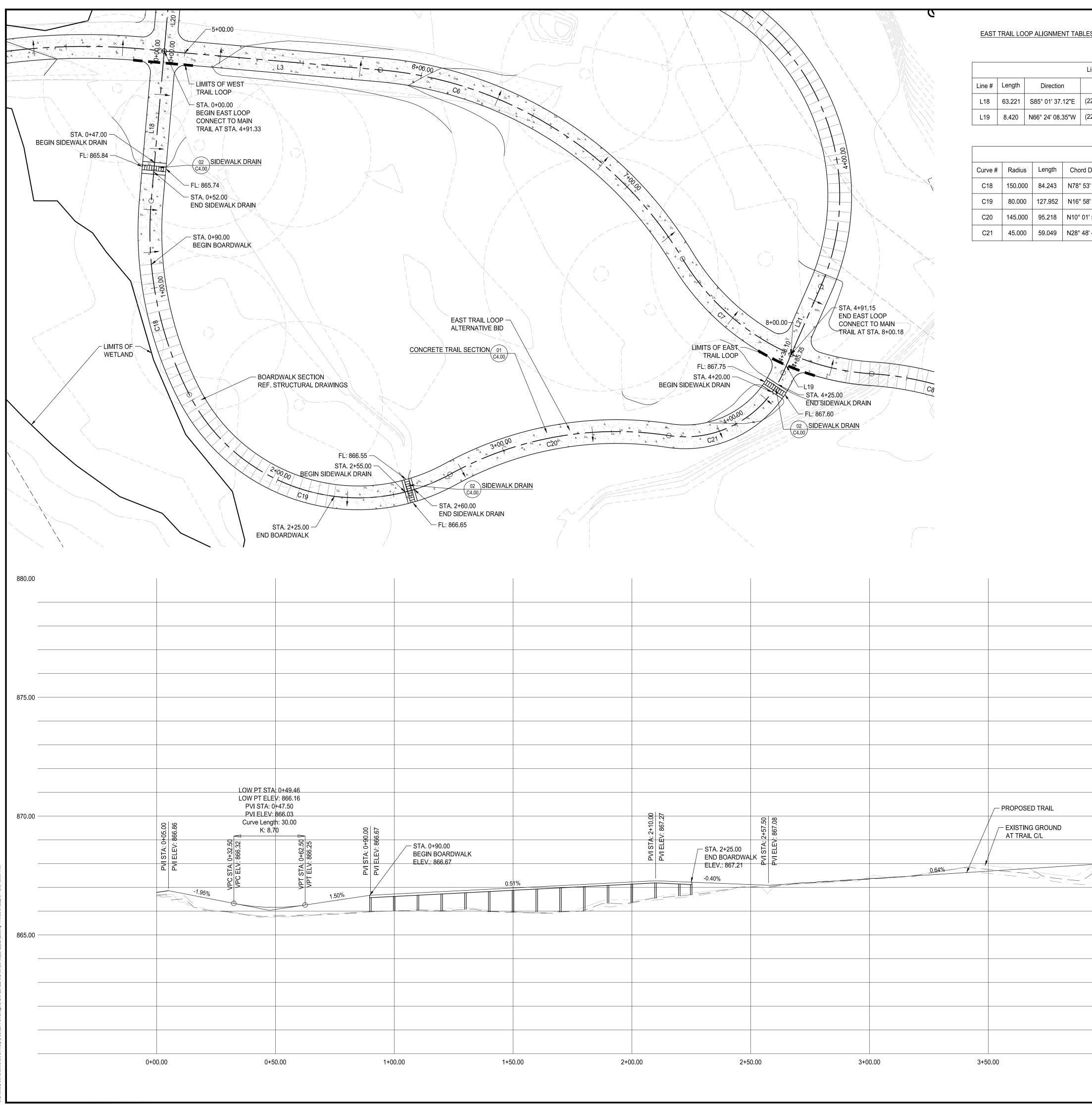
EAST TRAIL LOOP ALIGNMENT TABLES										
Line Table: Alignr										
Line #	Length	Direction	Start Poi							
L46	33.257	N85° 01' 37.12"W	(2247510.6296,142							
L47	33.594	N18° 29' 48.72"E	(2247477.6448,142							
L48	27.865	N37° 15' 59.64"E	(2247488.3025,142							
L49	20.076	N51° 44' 28.42"E	(2247505.1751,142							
L50	19.969	N63° 48' 12.38"E	(2247520.9389,142							
L51	20.076	N75° 51' 56.35"E	(2247538.8566,142							
L52	27.700	S89° 39' 34.83"E	(2247558.3244,142							
L53	20.611	S75° 11' 05.94"E	(2247586.0241,142							
L54	35.223	S66° 24' 11.23"E	(2247605.9495,142							

			Curv	e Table
Curve #	Radius	Length	Chord Direction	
C16	55.000	138.621	N12° 49' 25.30"W	(224
C17	55.000	70.695	N22° 33' 23.72"E	(224
C18	80.992	37.705	N02° 54' 33.80"W	(224

VPC ELV: 867.40 ▲	LOW PT STA: 1+95.00 LOW PT ELEV: 867.40 PVI STA: 2+20.00 PVI ELEV: 867.57 Curve Length: 50.00 K: 86.55 00:97+7 State of the second seco	1.25%	PVI STA: 3+20.00 PVI ELEV: 868.82	-0.12%	
	EXISTING GROUND AT TRAIL C/L	STA. 2+80.00			
2+0	00.00 2+5	0.00 3+0	0.00 3+	50.00 4+0	0.00



Permit # LDP22-00012



#### EAST TRAIL LOOP ALIGNMENT TABLES

Line Table: Alignments							
Line #	Length	Direction	Start Point	End Point			
L18	63.221	S85° 01' 37.12"E	(2247510.6296,1420759.2141)	(2247573.6125,1420753.7336)			
L19	8.420	N66° 24' 08.35"W	(2247645.9434,1421019.7000)	(2247638.2274,1421023.0707)			

	Curve Table: Alignments								
Curve #	Radius	Length	Chord Direction	Start Point	End Point				
C18	150.000	84.243	N78° 53' 01.46"E	(2247573.6125,1420753.7336)	(2247655.1926,1420769.7631)				
C19	80.000	127.952	N16° 58' 30.61"E	(2247655.1926,1420769.7631)	(2247688.6928,1420879.5073)				
C20	145.000	95.218	N10° 01' 54.86"W	(2247688.6928,1420879.5073)	(2247672.4026,1420971.5935)				
C21	45.000	59.049	N28° 48' 41.04"W	(2247672.4026,1420971.5935)	(2247645.9434,1421019.7000)				

## LAYOUT INFO LEGEND





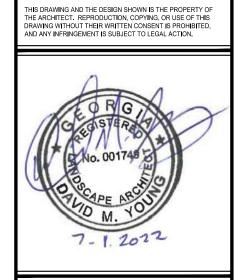
HEAVY DUTY CONCRETE PER DETAIL 2/C4.01

LIGHT DUTY CONCRETE PER DETAIL 1/C4.01

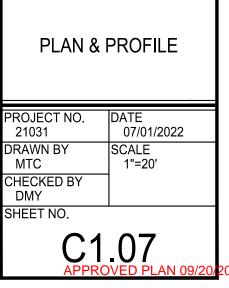
BOARDWALK PER STRUCTURAL DRAWINGS

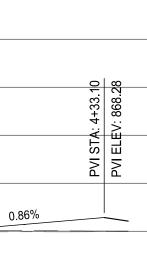
------ EXPANSION JOINT PER DETAIL 1&2/C4.01 – – – – CONTROL JOINT PER DETAIL 1&2/C4.01





SOUTH PLAN MURPHEY CANDLER TRAIL SITE DEVELOPMENT PLAN BROOKHAVEN ОF СITY SUBMITTALS / REVISIONS NO. DATE DESCRIPTION PERMIT DRAWINGS SHEET TITLE PLAN & PROFILE





4+50.00

88

STA: ELEV

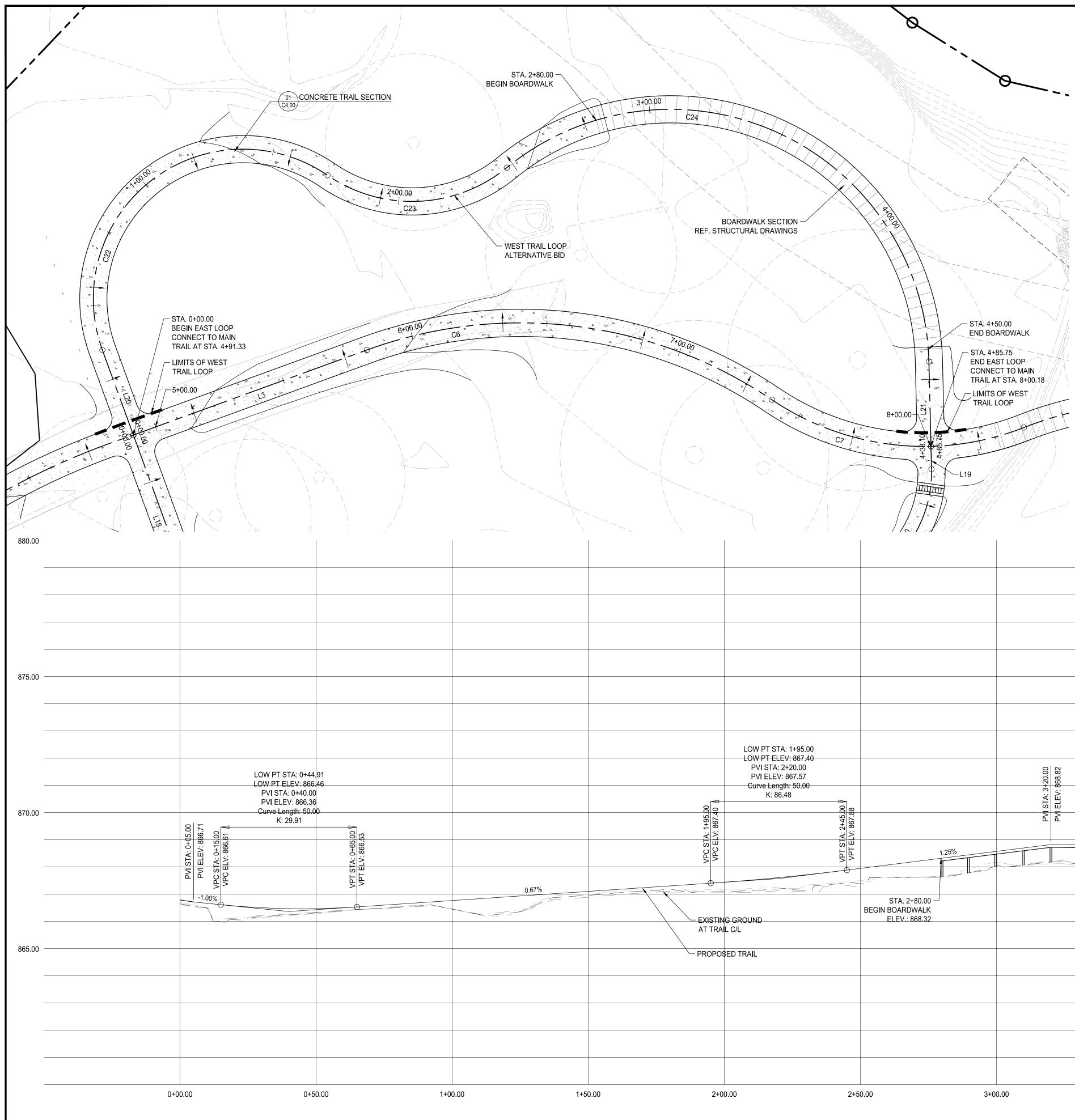
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875.00 870.00

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5+00.00 SCALE: 1" = 20 '



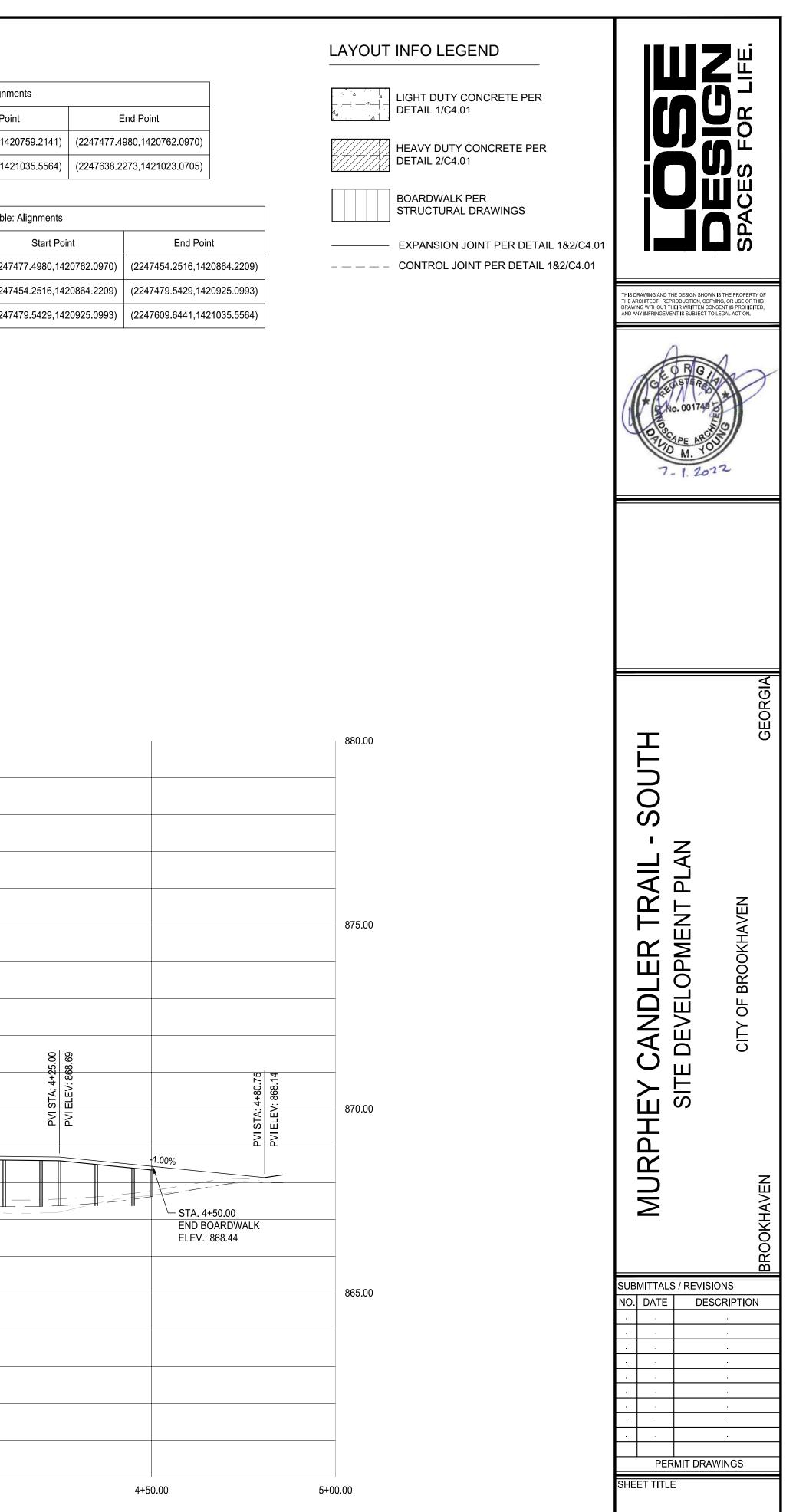
#### WEST TRAIL LOOP ALIGNMENT TABLES

			Line Table: Alignments
Line #	Length	Direction	Start Point
L20	33.257	N85° 01' 37.12"W	(2247510.6296,1420759.2
L21	31.191	S66° 24' 11.38"E	(2247609.6441,1421035.5

#### Curve Table: Alignments

Curve #	Radius	Length	Chord Direction	
C22	55.000	138.621	N12° 49' 25.30"W	(224
C23	55.000	70.689	N22° 33' 35.79"E	(224
C24	95.000	211.994	N49° 40' 06.42"E	(224

	/ 1 .				
	LOW PT STA: 1+95.00 LOW PT ELEV: 867.40 PVI STA: 2+20.00				
	PVI ELEV: 867.57 Curve Length: 50.00 K: 86.48		PVI STA: 3+20.00 PVI ELEV: 868.82		
+95.00 367.40			PVI STA		
VPC STA: 1+95.00 VPC ELV: 867.40	VPT STA: 2+45.00 VPT STA: 2+45.00 VPT ELV: 867.88	1.25%		-0.12%	
	×>				
	G GROUND	STA. 2+80.00 – BEGIN BOARDWALK ELEV.: 868.32			
AT TRA	L C/L				
	SED TRAIL				
2+0	0.00 2+5	50.00 3+0	0.00 3+	50.00 4-	-00.00



SCALE: 1" = 20 '

# PLAN & PROFILE

PROJECT NO. 21031	DATE 07/01/2022
DRAWN BY MTC	SCALE 1"=20'
CHECKED BY DMY	
SHEET NO.	
	08

## **CLEARING PHASE EROSION CONTROL NOTES**

PRIOR TO THE LAND DISTURBING CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS OR STREAM BUFFERS, IF POSSIBLE.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITIES SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES. NO LAND DISTURBANCE SHALL TAKE PLACE OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES.

- 1. THE CONSTRUCTION EXIT, CONSISTING OF A MINIMUM PAD SIZE OF 20 FEET BY 50 FEET WITH A MINIMUM OF 6" THICK STONE, SHALL BE PLACED AS SHOWN ON THE PLANS. THE STONE SIZE SHALL CONSIST OF COURSE AGGREGATE BETWEEN 1-1/2" & 3-1/2" IN DIAMETER AND OVERLAID ON A GEOTEXTILE UNDERLINER. THE GEOTEXTILE UNDERLINER SHALL MEET THE REQUIREMENTS OF AASHTO M266-96, SECTION 7.3 SEPARATION REQUIREMENTS.
- 2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXIT ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.
- 3. TYPE 'C' SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-27.1. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
- 4. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLANS. SEE SEPARATE DETAIL FOR SPECIFICS ON TYPE OF INLET PROTECTION SPECIFIED.
- 5.STONE CHECK DAMS SHALL BE INSTALLED ON ALL EXISTING CONCENTRATED FLOWS AS SHOWN ON THE PLANS.
- 6. TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE ACTIVITY AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. THE TREE PROTECTION FENCING SHOULD BE INSPECTED DAILY. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.

AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF SAID EROSION CONTROL MEASURES. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT CONSTRUCTION OF ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTOR.

AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION. THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRUBBING ACTIVITIES. AS CLEARING PERMITS THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT PONDS AND DIVERSION DIKES AS SHOWN ON THE CLEARING PHASE PLAN TO CONTROL EROSION AND STORM WATER RUNOFF.

THE DESIGN PROFESSIONAL WHO PREPARED THE ESPC PLAN WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN SEVEN DAYS AFTER INSTALLATION.

THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.

ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON THE PLANS AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND SEDIMENT PONDS ARE CONSTRUCTED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.

ALL SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE FOR THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, 1983.

ALL ITEMS IN THIS SECTION OF THE SPECIFICATIONS SHALL MEET THE REQUIREMENTS AS SET FORTH IN SECTION 161, 162, 163, AND 164 OF GEORGIA D.O.T. STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3 INCH STONE, AS CONDITIONS DEMAND, ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLAN.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

ALL CLEARING AND GRUBBING DEBRIS TO BE CHIPPED AND MULCHED FOR USE IN SEDIMENT AND EROSION CONTROL PREVENTION.

## **GRADING PHASE EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION:

MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREFORE LIMITED DURATION, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED. NOTE SUB PHASES SHOWN ON PLANS.

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR SLOUGHING INTO THE BUFFER AREAS.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT THE VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10FT OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS IMMEDIATELY.

TYPE "C" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS AND ALL FILL SLOPES 10FT OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. ADDITIONALLY, DIVERSION DIKES SHALL BE SHALL BE CONSTRUCTED ALONG THE TOP OF ALL SAID FILL SLOPES WITH THE USE OF TEMPORARY DOWN DRAINS TO CONTROL STORMWATER RUNOFF AS SHOWN ON THE PLANS.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION ON TYPE OF INLET PROTECTION SPECIFIED.

STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE

PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATE OF OCCUPANCY, SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON PLAN. THE CONTRACTOR SHALL MAINTAIN THE THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES SEDIMENT POND UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED AND DISPOSE OF THEM UNLESS NOTED ON PLANS. OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED. INDICATORS MUST BE INSTALLED IN SEDIMENT BASINS INDICATING THE 1/3 FULL VOLUME FOR CLEANOUT.

WHERE INDICATED, HATCHED AREAS SHOWN ON THE EROSION CONTROL PLANS THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW MAY REPRESENT CRITICAL WORK ZONES. AT THE END OF EACH WORK DAY ALL OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF SLOPES 2:1 OR STEEPER AND HIGHER THAN 5 FEET SHALL RECEIVE SURFACE STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM ROUGHENING, POLYMERS, AND EROSION CONTROL MATTING. ADDITIONALLY, ALL VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY. FILL SLOPES SHALL RECEIVE A DIVERSION DIKE AND TEMPORARY DRAIN ALONG THE TOP OF THE SLOPE PREVENTING DRAINAGE SPILLING OVER THE EDGE AND DOWN CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE THE FACE OF THE SLOPE. THE TEMPORARY DOWN DRAINS SHALL BE CONSTRUCTED MEASURES ARE FUNCTIONING PROPERLY. WITH PERFORATED STAND PIPES AT THE TOP OF THE SLOPE AND RECONSTRUCTED EACH DAY AS THE SLOPE INCREASES IN HEIGHT. 3:1 SLOPES SHALL RECEIVE EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE MATTING AS SPECIFIED ON THE EROSION CONTROL PLANS.

APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

ALL INLET HEADWALLS TO BE PROTECTED WITH SILT GATES. AND ALL DROP INLETS TO BE UNDERCUT 1.5FT DEEP BY 10FT IN DIAMETER.

ERODED VEGETATED SLOPES WILL BE BACKFILLED, SMOOTHED, SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

## **FINAL PHASE EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF CONSTRUCTION:

MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE HALF-WAY POINT ON THE RISER.

AFTER CURBING, GRADED AGGREGATE BASE, AND PAVEMENT HAVE BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON SINGLE AND DOUBLE WING CATCH BASINS ALONG WITH ANY CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER INLET PROTECTION. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL ROADWAY AND PARKING SHOULDERS SHOULD BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED. WASHED. OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE AS DIRECTED BY THE ON-SITE INSPECTOR OR THE CIVIL ENGINEER.

ALL TEMPORARY SEDIMENT BASINS SHALL BE REMOVED WHEN THE DEVELOPMENT IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PERMANENT VEGETATION.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO CONSTRUCTION ACTIVITY BY OTHERS.

ERODED VEGETATED SLOPES WILL BE BACKFILLED. SMOOTHED. SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

### CRITICAL WORK ZONE **EROSION CONTROL NOTES:**

### DESIGN PROFESSIONAL'S CERTIFICATION

(1) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN, PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

(2) "I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

DESIGN PROFESSIONAL

DATE

GA REGISTRATION #

LEVEL II CERTIFICATION EXPIRES:

## NPDES PERMIT COVERAGE

THIS PLAN HAS BEEN PREPARED TO MEET THE REQUIREMENTS UNDER THE STATE OF GEORGIA, DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION (EDP). GENERAL PERMIT NO. GAR 100001. FOR AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FOR STAND ALONE DEVELOPMENTS.

AUTHORIZED DISCHARGES

- 1. ALL DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY THAT WILL RESULT IN LAND DISTURBANCE EQUAL TO OR GREATER THAN ONE ACRE. PART
- I.C.1.a-c. 2. ALL DISCHARGES COVERED BY THIS PERMIT SHALL BE COMPOSED ENTIRELY OF STORMWATER EXCEPT AS PROVIDED IN PART I.C.2 AND PART III.A.2 OF THE PERMIT PART III.A.1
- 3. AUTHORIZED MIXED STORMWATER DISCHARGES: PART I.C.2 A. THE INDUSTRIAL SOURCE OR ACTIVITY OTHER THAN CONSTRUCTION IS LOCATED ON THE SAME SITE AS THE CONSTRUCTION ACTIVITY AND IS AN INTEGRAL PART OF THE CONSTRUCTION ACTIVITY.
  - B. THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE OCCURRING ARE IN COMPLIANCE WITH THE TERMS OF THIS PERMIT
  - C. STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE AREAS OF THE SITE WHERE INDUSTRIAL ACTIVITY OTHER THAN CONSTRUCTION ARE OCCURRING ARE COVERED BY A DIFFERENT NPDES GENERAL PERMIT OR INDIVIDUAL PERMIT AUTHORIZING SUCH DISCHARGES AND THE DISCHARGES ARE IN COMPLIANCE WITH A DIFFERENT NPDES PERMIT.

4. AUTHORIZED NON-STORMWATER DISCHARGES: PART III.A.2 A. FIRE FIGHTING ACTIVITIES

- **B. FIRE HYDRANT FLUSHING**
- C. POTABLE WATER SOURCES INCLUDING WATER LINE FLUSHING **D. IRRIGATION DRAINAGE**
- E. AIR CONDITIONING CONDENSATE F. SPRINGS
- G. UNCONTAMINATED GROUND WATER
- H. FOUNDATION OR FOOTING DRAINS WHERE FLOWS ARE NOT CONTAMINATED WITH PROCESS MATERIALS OR POLLUTANTS

LIMITATIONS ON COVERAGE PART I.C.3

- 1. THE FOLLOWING STORMWATER DISCHARGES FROM CONSTRUCTION SITES ARE NOT AUTHORIZED BY THIS PERMIT
- A. STORMWATER DISCHARGES ASSOCIATED WITH AN INDUSTRIAL ACTIVITY THAT ORIGINATES FROM THE SITE AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION. B. DISCHARGES THAT ARE MIXED WITH SOURCES OF NON-STORMWATER OTHER THAN
- DISCHARGES THAT ARE IDENTIFIED IN PART II.A.2 OF THIS PERMIT AND THAT ARE IN COMPLIANCE WITH PART IV.D.6 (NON-STORMWATER DISCHARGES) OF THIS PERMIT. C. STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY THAT ARE
- SUBJECT TO AN EXISTING NPDES INDIVIDUAL OR GENERAL PERMIT. SUCH DISCHARGES MAY BE AUTHORIZED UNDER THIS PERMIT AFTER AN EXISTING PERMIT EXPIRES PROVIDED THE EXISTING PERMIT DID NOT ESTABLISH NUMERIC LIMITATIONS FOR SUCH DISCHARGES.
- D. STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT THE DIRECTOR (EPD) HAS DETERMINED TO BE. OR MAY REASONABLY BE EXPECTED TO BE. CONTRIBUTING TO A VIOLATION OF A WATER QUALITY STANDARD.
- 2. WHERE A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR IN EXCESS OF A REPORTING QUANTITY ESTABLISHED UNDER EITHER GEORGIA'S OIL OR HAZARDOUS MATERIAL SPILLS OR RELEASES ACT (O.C.G.A 12-14-2, ET SEQ.) 40 CFR 117 OR CFR 302 OCCURS DURING A 24 HOUR PERIOD, THE PERMITTEE IS REQUIRED TO NOTIFY THE FOLLOWING AGENCIES IN ACCORDANCE WITH THE ABOVE MENTIONED REGULATIONS AS SOON AS HE HAS KNOWLEDGE OF THE DISCHARGE: EPD AT (404)656-4883 OR (800) 241-4113 OR THE NATIONAL RESPONSE CENTER (NRC) AT 1-800-424-8802. PART III.B.1
- 3. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL RESULTING FROM AN ON-SITE SPILL. PART III.B.2

WATER QUALITY COMPLIANCE PART I.C.4

ALL DISCHARGES AUTHORIZED BY THIS PERMIT SHALL NOT CAUSE VIOLATIONS OF GEORGIA'S IN-STREAM WATER QUALITY STANDARDS AS PROVIDED BY THE RULES AND REGULATIONS FOR WATER QUALITY CONTROL, CHAPTER 301-3-6-03.

## PRIMARY PERMITTEE'S (OWNER/OPERATOR) CERTIFICATION

(1) "I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN (PLAN) WAS PREPARED BY A DESIGN PROFESSIONAL, AS DEFINED BY THIS PERMIT THAT HAS COMPLETED THE APPROPRIATE CERTIFICATION COURSE APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-19 AND THAT I WILL ADHERE TO THE PLAN AND COMPLY WITH ALL PERMIT REQUIREMENTS."

(2) "I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED UPON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

PRIMARY PERMITTEE (OWNER/OPERATOR)

DATE

## NPDES PERMIT COVERAGE

SEE SHEET C2.10 FOR SAMPLING LOCATIONS.

SAMPLING METHODOLOGY PART IV.D.6

AII SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED). THE GUIDANCE DOCUMENT TITLED "NPDES STORMWATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

- 1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE
- SAMPLES. 2. SAMPLES SHALL BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
- 3. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHALL BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE
- CLEANED THOROUGHLY TO AVOID CONTAMINATION. 4. MANUAL, AUTOMATIC, OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW-THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT. THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
- 5. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THE PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

SAMPLING FREQUENCY

SAMPLING FREQUENCY SHALL OCCUR IN ACCORDANCE WITH PART IV.D.6.D OF THE PERMIT.

- 1. THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.
- 2. HOWEVER, WHERE THE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THE PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.
- 3. SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS: A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING
- WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;
- B. IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST:
- C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS\* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED. INSTALLED AND MAINTAINED:
- D. WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.A.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY
- SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; E. EXISTING CONSTRUCTION ACTIVITIES, I.E. THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

\* NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF 3.A. AND 3.B. BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

DESIGNER GSWCC LEVEL I

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



PRIMARY PERMITTEE / OWNER CONTACT: BRIAN BORDEN CITY OF BROOKHAVEN 3360 OSBORNE ROAD BROOKHAVEN, GA 30319

24-HR. EMERGENCY CONTACT: BRIAN BORDEN - 404.637.0562 BRIAN.BORDEN@BROOKHAVENGA.GOV

PHONE: 404.637.0562

### ASATO MASUYAMA, CERTIFIED DESIGN PROFESSIONAL



DRAWING AND THE DESIGN SHOWN IS THE PROPERT

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Permit # LDP22-00012

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## NPDES PERMIT COVERAGE (CONTINUED)

EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN (ESPC)

THIS PLAN WAS PREPARED AS REQUIRED BY NPDES GENERAL PERMIT NO. GAR 100001 (STAND ALONE CONSTRUCTION PROJECT). THESE PLAN SHEETS AND ALL REQUIREMENTS OF THE GENERAL PERMIT AS WELL AS LOCAL, STATE, AND FEDERAL REGULATIONS OR LAWS APPLY REGARDLESS OF SPECIFIC INCLUSION IN THIS PLAN.

#### SITE DESCRIPTION:

OWNER/DEVELOPER AS PRIMARY PERMITTEE WILL OVERSEE SITE CONSTRUCTION LOCATED WITHIN THE PROPERTY LOCATED AT 1551 WEST NANCY CREEK, ATLANTA, GA 30319. THE ENTIRE SITE CONTAINS ±36.79 ACRES.

DESCRIBE PROPERTY TO BE DEVELOPED: MUNICIPAL PARK

AFTER PLACEMENT OF PERIMETER SILT PROTECTION BARRIERS AND CONSTRUCTION ENTRANCES CONSTRUCTION WILL BEGIN WITH DEMOLITION OF EXISTING SITE FEATURES AS OUTLINED ON THE DEMOLITION PLAN SHEET C0.03 CONTINUING WITH CLEARING AND GRUBBING OF VEGETATION IN AREAS THAT ARE TO BE DISTURBED, PRELIMINARY AND FINAL GRADING, UTILITY INSTALLATION, SIDEWALKS AND STRUCTURES PER THE PHASED EROSION CONTROL PLAN SHEETS C2.10-C2.32 AND CONSTRUCTION PLAN SFT

STORM WATER RUNOFF FROM THIS DEVELOPMENT WILL BE DIVERTED THROUGH TEMPORARY BMP'S UNTIL THE SITE IS STABILIZED.

#### ZONING:

THIS SITE IS ZONED R-100.

SURVEY INFORMATION

BOUNDARY AND TOPOGRAPHIC SURVEY, DATED 08/22/2016, BY TERRAMARK LAND SURVEYING, INC.

NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA FIRM PANEL 13089C0014K , EFFECTIVE DATE AUGUST 15, 2019.

#### RUNOFF COEFFICIENT

• WEIGHTED PRE-CONSTRUCTION CN CURVE NUMBER: 55 WEIGHTED POST-CONSTRUCTION CN CURVE NUMBER: 60

#### SOIL TYPES

THE NRCS SOIL TYPES CAN BE FOUND ON SHEET C2.10 OF THESE CONSTRUCTION DOCUMENTS

SOIL DISTRIBUTING ACTIVITIES INCLUDE:

- INSTALLING A STABILIZED CONSTRUCTION EXIT, PERIMETER AND OTHER EROSION AND SEDIMENT
- CONTROLS. CLEARING AND GRUBBING.
- EXCAVATION OF THE FOUNDATION.
- GRADING AND EXCAVATION FOR UTILITIES.
- PREPARATION FOR FINAL PLANTING AND SEEDING. COMPLETION OF ON-SITE STABILIZATION.
- SEQUENCE OF MAJOR ACTIVITIES SEE CONSTRUCTION SCHEDULE

BUFFER ENCROACHMENTS  $\sim$ THERE ARE 25 FOOT STATE WATERS BUFFERS ON THIS SITE BUT THERE ARE NO ENCROACHMENTS. A BUFFER VARIANCE IS NOT REQUIRED FROM GEORGIA ENVIRONMENTAL PROTECTION DIVISION (EPD).

NAME OF RECEIVING WATERS:

THE RECEIVING WATER FOR THIS SITE IS AN UNNAMED TRIBUTARY OF NANCY CREEK. THIS PROJECT DOES DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT.

#### CONTROLS

EROSION AND SEDIMENT CONTROLS

ALL PERIMETER SILT FENCES AND CONSTRUCTION EXITS SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES.

EXISTING VEGETATION SHALL BE LEFT IN PLACE UNTIL SUCH TIME THAT LAND DISTURBING ACTIVITIES ARE TO TAKE PLACE UPON THAT PORTION OF THE SITE. WHEN CONSTRUCTION ACTIVITIES HAVE CEASED IN AN AREA, THAT AREA SHALL BE STABILIZED WITHIN 14 DAYS. IF THE AREA IS NOT YET TO FINAL GRADE, IT SHALL BE MULCHED. IF THE AREA IS TO FINAL GRADE AND WILL EVENTUALLY CONTAIN SITE IMPROVEMENTS SUCH AS THE STRUCTURES OR SIDEWALKS, IT SHALL BE TEMPORARY SEEDED. AREAS BROUGHT TO FINAL GRADE THAT WILL REMAIN PERVIOUS ARE TO BE PERMANENTLY SEEDED. ALLOWABLE EXCEPTIONS FROM THE NPDES GENERAL PERMIT, GAR 100001, ARE NOTED BELOW.

"WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION, ACTIVITY TEMPORARY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE."

"WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED."

PLEASE REFER TO DETAIL SHEETS FOR THE LAND DISTURBANCE CONSTRUCTION SCHEDULE AND TEMPORARY AND PERMANENT GRASSING SCHEDULES.

#### NON- STORM WATER DISCHARGES

ALL NON-STORM WATER DISCHARGES WILL BE ROUTED THROUGH ON SITE BMP'S AND THE STORM WATER MANAGEMENT SYSTEM WHERE POSSIBLE. THESE DISCHARGES INCLUDE FLUSHING OF WATER AND FIRE LINES, IRRIGATION WATER, GROUND WATER, DEWATERING OR PITS OR DEPRESSIONS WITHIN THE CONSTRUCTION SITE AND RINSE ALL WATER OF NON-TOXIC MATERIALS.

#### OTHER CONTROLS

NO WASTE WILL BE DISPOSED OF INTO STORM WATER INLETS OR WATERS OF THE STATE.

#### WASTE MATERIALS

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.

ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

#### HAZARDOUS WASTES

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND ALL THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTE WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ONSITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

#### SANITARY WASTES

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

ALL SANITARY WASTE UNITS WILL BE LOCATED IN ONE AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS WILL BE DETERMINED BY THE CONTRACTOR.

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY AT THE COMPLETION OF THIS PROJECT.

CONCRETE WASHDOWN PER DETAIL 1 ON SHEET C3.40

- BACK IN EQUIPMENT.
- MAKE SURE WASHDOWN WATER GOES INTO AND STAYS IN THE PIT.

#### OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEET C2.11 FOR CONSTRUCTION EXIT LOCATION AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT, OR RACK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

THE FOLLOWING MATERIALS ARE EXPECTED ONSITE DURING CONSTRUCTION: CONCRETE PRODUCTS, ASPHALT, PETROLEUM BASED FUELS AND LUBRICANTS FOR EQUIPMENT, TAR, METAL BUILDING MATERIALS, LUMBER, SHEET ROCK, FLOOR COVERINGS, ELECTRICAL WIRE AND FIXTURES, PAINTS/ STAINS/ FINISHING TREATMENTS, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CLEANING SOLVENTS, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, PLASTIC AND METAL PIPES.

#### SPILL PREVENTION

PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS AND SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

- QUANTITIES OF PRODUCTS STORED ONSITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB. 2
- RAINFALL WHERE POSSIBLE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER LABELS LEGIBLE AND VISIBLE. 4. PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S
- RECOMMENDATIONS.

#### PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS- CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OR SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINTS/ FINISHES/ SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM, EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASTE WATER ONSITE.

FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

WILL BE DISPOSED OF IN PROPER WASTE PROCEDURES.

#### SOIL CLEANUP AND CONTROL PRACTICES

- PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL. STATE AND FEDERAL REGULATIONS.
- 1-800-424-8802
- HOURS
- WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

#### ON-SITE BUILDING MATERIALS

BUILDING MATERIALS AND BUILDING PRODUCTS WILL BE COVERED WITH PLASTIC SHEETING SECURED OVER THE MATERIALS OR PER MANUFACTURER'S RECOMMENDATION. ALL BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS SHALL BE COVERED AND NOT IN DIRECT CONTACT WITH THE GROUND TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

WASHOUT OF THE CONCRETE DRUM IS PROHIBITED. FOLLOWING IS A PROCEDURE TO WASHDOWN TOOLS, CHUTE AND HOPPER: COORDINATE WITH SITE SUPERINTENDENT TO EXCAVATE A PIT DEEP ENOUGH TO CONTAIN WASHDOWN WATER.

WASHDOWN ONLY THE CHUTE, HOPPER AND REAR OF THE VEHICLE. DO NOT WASH OUT THE DRUM.

5. COORDINATE WITH SITE SUPERINTENDENT TO FILL IN PIT AND SMOOTH OUT GROUND.

PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM

5. THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL

LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND

• MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT

• FOR SPILLS THAT IMPACT SURFACE WATER, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT

 FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER WILL BE CONTACTED WITH IN 24 HOURS. • FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24

• FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES

#### INSPECTIONS

PRIMARY PERMITTEE

- 1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- 2. MEASURE AND RECORD RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION
- CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). 5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
- A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E. INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

#### MAINTENANCE & INSPECTION OF EROSION & SEDIMENT CONTROLS

MAINTENANCE

THE FOLLOWING BEST MANAGEMENT PRACTICE MAINTENANCE CRITERIA ARE TAKEN FORM THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", 2016 EDITION.

CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES TO TROP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

DETENTION POND OUTLET STRUCTURES SHALL BE KEPT CLEAR OF TRASH AND DEBRIS. THIS WILL REQUIRE CONTINUOUS MONITORING AND MAINTENANCE, WHICH INCLUDES SEDIMENT REMOVAL WHEN ONE-THIRD OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST.

SEDIMENT SHALL BE REMOVED FROM SILT FENCES ONCE IT HAS BEEN ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER. FILTER FABRIC SHALL BE REPLACES WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROXIMATELY SIX MONTHS).

SEDIMENT SHALL BE REMOVED FROM TRAPS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL BE REMOVED FROM CURB INLET PROTECTION IMMEDIATELY. FOR EXCAVATED INLET SEDIMENT TRAPS, SEDIMENT SHALL BE REMOVED WHEN ON-HALF OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST TO SEDIMENT ACCUMULATION.

SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT INTER THE INLET AGAIN.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

REPAIR ALL DAMAGES CAUSED TO TEMPORARY SEDIMENT BASINS BY SOIL EROSION OR CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE SPECIFIED DISTANCE BELOW THE TOP OF THE RISER. SEDIMENT SHALL NOT ENTER ADJACENT STREAMS OR DRAINAGE WAYS DURING SEDIMENT REMOVAL OR DISPOSAL. THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT ADJACENT TO A STREAM OR FLOODPLAIN.

INSPECT RIP RAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE OR IT STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

ROUGHENED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE TO OBTAIN OPTIMUM SEED GERMINATION AND SEEDING GROWTH.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

PERMANENT VEGETATION SHALL BE APPLIED IMMEDIATELY TO ROUGH GRADED AREAS THAT WILL BE UNDISTURBED FOR LONGER THAN SIX MONTHS. THIS PRACTICE SHALL BE APPLIED IMMEDIATELY TO ALL AREAS AT FINAL GRADE, FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES, AT LEAST 70% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION OR EQUIVALENT PERMANENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. PERMANENT VEGETATION SHALL CONSIST OF: PLANTED TREES, SHRUBS, PERENNIAL VINES, A CROP OF PERENNIAL VEGETATION APPROPRIATE FOR THE REGIONS, SUCH THAT WITHIN THE GROWING SEASON 70% COVERAGE BY PERENNIAL VEGETATION SHALL BE ACHIEVED. FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION. UNTIL THIS STANDARD IS SATISFIED AND PERMANENT CONTROL MEASURES AND FACILITIES ARE OPERATIONAL, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL NOT BE REMOVED.

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## NPDES PERMIT COVERAGE (CONTINUED)

#### STORM WATER SAMPLING

#### SAMPLE ANALYSIS

STORM WATER SAMPLES ARE TO BE ANALYZED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40CFR PART 136 AND THE GUIDANCE DOCUMENT TITLES NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT EPA 833-B-92-001.

STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT 2 OUTFALL LOCATIONS INDICATED ON SHEET C3.04. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDS THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NUMBER GAR 100001. THE NTU IS BASED UPON THE TOTAL PROJECT AREA OF 3.02 ACRES OF THE PROJECT SITE, THE SURFACE WATER DRAINAGE AREA OF BETWEEN 10.00 - 24.99 SQ. MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES.

## NTU VALUE= 200

#### SAMPLE TYPE

ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.

- SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
- SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
- MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
- SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E

#### SAMPLING POINTS

THERE ARE 2 SAMPLING LOCATION AS INDICATED ON SHEET C3.04 AND SEE POINT TABLE ON C3.04 FOR COORDINATES. PER NPDES PERMIT GAS 100001, FOR CONSTRUCTION ACTIVITIES. THE PRIMARY PERMITTEE MUST COMPLETE ALL SAMPLING.

CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL

- STREAM WATER CHANNEL
- THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM. • THE SAMPLINGS SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
- THE PRIMARY PERMITTEE DOES NOT HAVE TO SAMPLE SHEET FLOW INTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT.

#### SAMPLING FREQUENCY

SEE NOTES ON SHEET C3.04

REPORTING

- THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THE PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.
- ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- A. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
- B. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
- C. THE DATE(S) ANALYSES WERE PERFORMED; D. THE TIME(S) ANALYSES WERE INITIATED:
- E. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
- F. REFERENCES AND WRITTEN PROCEDURES. WHEN AVAILABLE. FOR THE ANALYTICAL TECHNIQUES OR METHODS USED: G. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES.
- ETC USED TO DETERMINE THESE RESULTS.
- H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND
- I. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
- ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THE PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH FESCUE TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

IF NO QUALIFYING EVENTS OCCURRED WITHIN A MONTHLY MONITORING PERIOD, A REPORT MUST BE SUBMITTED STATING SUCH. ADDRESSES ARE PROVIDED BELOW:

#### GOVERNING AGENCY: CITY OF BROOKHAVEN 3360 OSBORNE ROAD BROOKHAVEN, GA 30319 PHONE: 404.637.0562

OWNER: CITY OF BROOKHAVEN 3360 OSBORNE ROAD BROOKHAVEN, GA 30319 PHONE: 404.637.0562

ADDRESS: TBD ADDRESS: TBD PHONE: TBD

#### RETENTION OF RECORDS

- 1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
- A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
- B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT: C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT:
- D. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
- E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT; F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2.
- OF THIS PERMIT: AND
- G. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.

COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION), OR OTHER REPORTS REQUESTED BY THE THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

THE CONTRACTOR WILL OBTAIN COPIES OF ANY AND ALL LOCAL AND STATE REGULATIONS THAT ARE APPLICABLE TO STORM WATER MANAGEMENT, EROSION CONTROL, AND POLLUTION MINIMIZATION AT THIS JOB SITE AND WILL COMPLY FULLY WITH SUCH REGULATIONS. THE CONTRACTOR WILL SUBMIT WRITTEN EVIDENCE OF SUCH COMPLIANCE IF REQUESTED BY THE OWNER OR ANY AGENT OF A REGULATORY BODY. THE CONTRACTOR WILL COMPLY WITH ALL CONDITIONS OF ANY AND ALL LOCAL, STATE AND FEDERAL AGENCIES HAVE GOVERNING AUTHORITY, INCLUDING THE CONDITIONS RELATED TO MAINTAINING THE ESPCP AND EVIDENCE OF COMPLIANCE WITH THE ESPCP AT THE JOB SITE AND ALLOWING REGULATORY PERSONNEL ACCESS TO THE JOB SITE AND TO RECORDS IN ORDER TO DETERMINE COMPLIANCE.

#### GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS AND CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGES FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

#### SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL SUBSTRATA. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL AREA UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

#### TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED AND FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA. LEAVING ABOUT 25 PERCENT OR THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AT IT IS SPREAD. A DISK HARROW WITH THE DISK SET OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

AGRICULTURAL LIMESTONE FERTILIZER, 5-10-15 MULCH, STRAW OR HAY

SEEDING SPECIES

#### HULL COMMON BERMUDA GRASS FESCUE

FESCUE **RYE GRASS** 

#### HAY MULCH FOR TEMP. COVER

B. TOP DRESSING: APPLY WHEN PLANTS FERTILIZER(AMMONIUM NITRATE 3

C. SECOND-YEAR FERTILIZER: (5-10-15 O

HYDRAULIC SEEDING EQUIPMENT WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

#### SEEDING SPECIES SERICEA LESPEDEZA, SCARIFIED WEEPING GRASS OR COMMON BERMUDA, HULLED

ATTN: INSPECTOR: TBD

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

	4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE
APPLICATION RATE/ACRE 10 LBS.	PLANTING DATES 3/1-6/15
50 LBS.	9/1-10/31
50 LBS. 50 LBS.	11/1-2/28
5000 LBS.	6/15-8/31
S ARE 2 TO 4 INCHES TALL 33.5%)	300 LBS./ACRE
DR EQUIVALENT)	800 LBS./ACRE

A. <u>SEEDING WITH MULCH:</u> (HYDRAULIC SEI AGRICULTURAL LIMESTONE #75 FERTILIZER, 5-10-15 MULCH, (STRAW OR HAY) OR WOOD CELLULOSE FIBER MULCH	EDING EQUIPMENT ON SLOPES LI	ESS THAN 3:1 AND STEEPER) 4000 LBS./ACRE 1500 LBS./ACRE 5000 LBS./ACRE 1000 LBS./ACRE
SEEDING SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICEA LESPEDEZA, SCARIFIED WEEPING GRASS OR COMMON BERMUDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1-6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LBS. 60 LBS.	9/1-10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1-2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15-8/31
B. <u>TOP DRESSING:</u> APPLY WHEN PLANTS A FERTILIZER (AMMONIUM NITRATE 33	.5%)	3000 LBS./ACRE
C. <u>SECOND-YEAR FERTILIZER:</u> (0-20-20 OR	EQUIVALENI)	500 LBS./ACRE

## GENERAL NOTES PER EROSION, SEDIMENTATION & POLLUTION CONTROL (ES&PC) PLAN CHECKLIST:

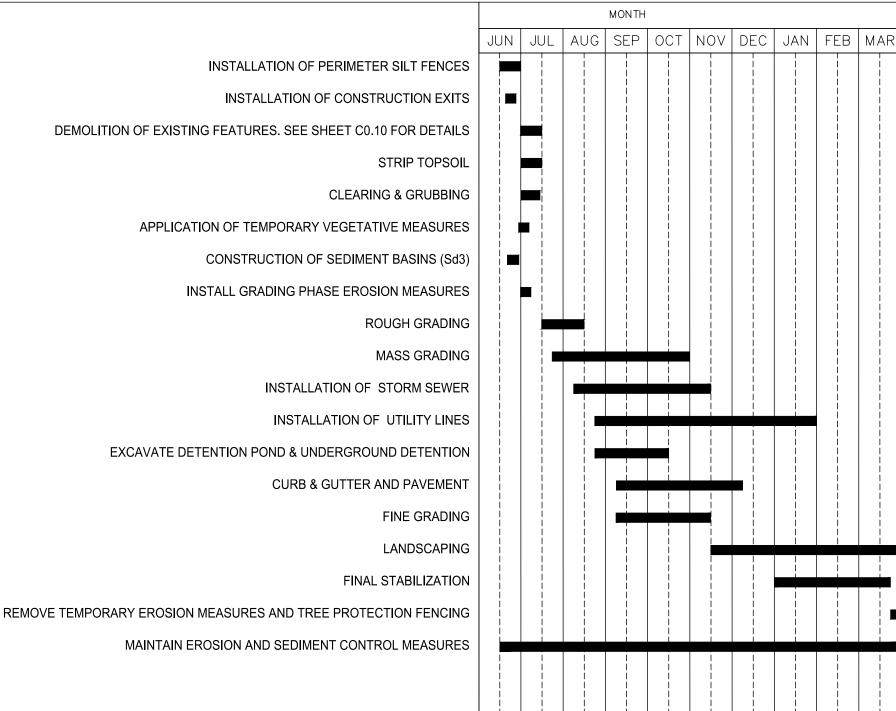
- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN SEVEN DAYS AFTER INSTALLATION.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

### GENERAL NOTES

- 1. AFTER CONSTRUCTION, EROSION AND SEDIMENTATION WILL BE MANAGED BY STABILIZED LOT CONSISTING OF PAVED DRIVES, GRASSING, AND LANDSCAPING.
- 2. MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
  - COVERING 30% OR MORE OF THE SOIL SURFACE WITH NON-ERODIBLE MATERIAL Α ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND FREQUENT WATERING OF EXCAVATION AND FILL AREAS PROVIDING GRAVEL OR PAVING AT ENTRANCE/ EXIT DRIVES
- 10. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- 11. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ONSITE INSPECTOR
- 12. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
- 13. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON RESIDENTIAL PROJECTS AND LOTS, AND LOTS SHALL NOT EXCEED 2H:1V ON ALL OTHER PROJECTS.
- 14. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER STARTING WITH THE ISSUANCE OF THE LDP AND ENDING WHEN THE PROJECT IS RELEASED BY THE INSPECTOR.
- 15. INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR 100001.
- 16. ALL SEWER EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONROL EROSION.
- 17. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH STABILIZED WITH PERMANENT VEGETATION AND ALL ROAD/DRIVEWAYS HAVE BEEN PAVED.

## **ON-SITE BUILDING MATERIALS:**

BUILDING MATERIALS AND BUILDING PRODUCTS WILL BE COVERED WITH PLASTIC SHEETING SECURED OVER THE MATERIALS OR PER MANUFACTURER'S RECOMMENDATION, ALL BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS SHALL BE COVERED AND NOT IN DIRECT CONTACT WITH THE GROUND TO MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.



ANTICIPATED CONSTRUCTION SCHEDULE START DATE: 06/2021 END DATE: 03/2021

## DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION:

**CERTIFICATION #** 

DATE OF INSPECTION

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

**GSWCC LEVEL II DESIGN PROFESSIONAL** 

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN.

THESE DISCREPANCIES MUST BE ADDRESS IMMEDIATELY AND A REINSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON SITE UNTIL THE DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

### APPENDIX B

### Nephelometric Turbidity Unit (NTU) TABLES

#### Cold Water (Trout Stream)

Surface Water Drainage Area, square miles

	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	25	50	75	150	300	500	500	500
10.01-25	25	25	50	75	150	200	500	500
25.01-50	25	25	25	50	75	100	300	500
50.01-100	20	25	25	35	59	75	150	300
100.01+	20	20	25	25	25	50	60	100
	10.01-25 25.01-50 50.01-100	1.00-102510.01-252525.01-502550.01-10020	1.00-10255010.01-25252525.01-50252550.01-1002025	1.00-1025507510.01-2525255025.01-5025252550.01-100202525	1.00-1025507515010.01-252525507525.01-502525255050.01-10020252535	1.00-1025507515030010.01-252525507515025.01-50252525507550.01-1002025253559	1.00-1025507515030050010.01-252525507515020025.01-50252525507510050.01-100202525355975	1.00-1025507515030050050010.01-252525507515020050025.01-50252525507510030050.01-100202525355975150

#### Warm Water (Supporting Warm Water Fisheries)

Surface Water Drainage Area, square miles

		0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
	1.00-10	75	150	200	400	750	750	750	750
011 01	10.01-25	50	100	100	200	300	500	750	750
Site Size, acres	25.01-50	50	50	100	100	200	300	750	750
	50.01-100	50	50	50	100	100	150	300	600
	100.01+	50	50	50	50	50	100	200	100

To use these tables, select the size (acres) of the construction site. Then, select the surface water drainage area (square miles). The NTU matrix value arrived at from the above tables is the one to use in Part III.D.4.



DESIGNER GSWCC LEVEL II I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.



Level II Certified Design Professional

0000083860 CERTIFICATION NUMBER EXPIRES: 10/01/2024 ISSUED: 10/01/2021

ASATO MASUYAMA, CERTIFIED DESIGN PROFESSIONAL

PRIMARY PERMITTEE / OWNER CONTACT: BRIAN BORDEN CITY OF BROOKHAVEN 3360 OSBORNE RD BROOKHAVEN, GA 30319 PHONE: 404.637.0562

24-HR. EMERGENCY CONTACT: BRIAN BORDEN - 404.637.0562 BRIAN.BORDEN@BROOKHAVENGA.GOV



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THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.



	MURPHEY CANDLER TRAIL - SOUTH	SITE DEVELOPMENT PLAN	CITY OF BROOKHAVEN	GEORG	
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			EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE CONSTRUCTION PROJECTS		1		D
			SWCD: City of Brookhaven	C3.02	Y		Provide complete re
			Address: 1551 West Nancy Creek Drive, Atlanta, GA 30319	C3.02	Y	31	Provide complete r
			have/Dekalb Date on Plans: 07/01/2022	C3.02	Y	32	Provide complete d
Name & Plan	s email o	-	erson filling out checklist: Asato Masuyama, amasuyama@lose.design	C3.02	Y	33	Description of analy
Page #	Y/N	-	TO BE SHOWN ON ES&PC PLAN	C3.02	Y	34	Appendix B rationa
C3.04	Y	-	The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission	C3.02	Y	35	Delineate all sampl
			as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)				storm water is disc
A1 1	Y	2	Level II certification number issued by the Commission, signature and seal of the certified design professional.	C3.04	Y	36	A description of ap
ALL	Y	2	(Signature, seal and level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be				(1) initial sediment
			reviewed)				BMPs, and (3) fin
N/A	N/A	3	Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from			_	control BMPs, inte all of the BMPs int
			the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must	A.L.I.		27	Graphic scale and
			include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *	ALL	Y		•
		-	(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)	ALL	Y	38	Existing and propo Map Scale
ALL	Y	-	The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.				1  inch = 100 ft
ALL	Y		Provide the name, address, email address, and phone number of primary permittee.			+	larger scale
C3.04	Y		Note total and disturbed acreages of the project or phase under construction.				
C3.04	Y		Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.	N/A	N/A	39	Use of alternative
ALL	Y		Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.				conventional BMF
C0.00	Y	4	Description of the nature of construction activity and existing site conditions.				and Water Conser
C3.04	Y	10	Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.		1	_	www.gaswcc.geor
C3.01	Y	11	Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes,	N/A	N/A	40	Use of alternative
	1		residential areas, wetlands, marshlands, etc. which may be affected.		1	_	for Erosion & Sedi
C3.00	Y	12	Design professional's certification statement and signature that the site was visited prior to development of the	ALL	Y	41	Delineation of the a
62.00		12	ES&PC Plan as stated on <b>Part IV page 19</b> of the permit.		1		buffers required by
C3.00	Y	_	Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on <b>Part IV page 19</b> of the permit	N/A	N/A		Delineation of on-s
C3.02	V	-	Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the	HYD	Y		Delineation and ac
C3.02	T	_	initial sediment storage requirements and perimeter control BMPs within 7 days after installation."	HYD	Y	44	Provide hydrology
			in accordance with Part IV.A.5 page 25 of the permit. *	HYD	Y	45	An estimate of the
C3.02	Y	15	Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot			_	completed.
			undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal	ALL	Y	46	Storm-drain pipe a
			marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary		1	_	erosion. Identify/E
<u>62.01</u>		-	variances and permits."	C3.04	Y		Soil series for the
C3.01	Y	-	Provide a description of any buffer encroachments and indicate whether a buffer variance is required.	ALL	Y		The limits of disturt
C3.02	Y	17	Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." *	ALL	Y	49	Provide a minimun
C3.02	V	18	Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as				retrofitted detention storage volume m
C3.02	1		authorized by a Section 404 permit." *			_	site has been achi
C3.02	Y	-	Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of				sediment basin is
			erosion and sediment control measures and practices prior to land disturbing activities."				sediment basin is
C3.02	Y	20	Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the			_	also be given. W
			approved Plan does not provide for effective erosion control, additional erosion and sediment control measures				storage design pro
	1		shall be implemented to control or treat the sediment source."				from the surface, u
C3.02	Y		Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be				a written justification
		-	stabilized with mulch or temporary seeding."	ALL	Y	50	Location of Best M
C3.01	Y	_	Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biota Impaired Stream Segment must comply				Erosion and Sedin
			with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those				legend.
			areas of the site which discharge to the Impaired Stream Segment. *	C3.40	Y	51	Provide detailed d
C3.04	Y	23	If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in			_	forth in the Manual
			Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific	L1.00	Y	52	Provide vegetative
		-	conditions or requirements included in the TMDL Implementation Plan. *				dates and seeding of the year that see
C3.01	Y	24	BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout			*	
Second Second		1 -	of the drum at the construction site is prohibited. *				Ifusing this checklist twithin 200 ftofape
C3.01	Y		Provide BMPs for the remediation of all petroleum spills and leaks.			bu	wiumini 200 il of a pe
C3.01	Y	26	Description of the measures that will be installed during the construction process to control pollutants in storm		<u></u>		1
			water that will occur after construction operations have been completed. *				
C3.01	Y		Description of practices to provide cover for building materials and building products on site. *				
	Y	28	Description of the practices that will be used to reduce the pollutants in storm water discharges. *				
C3.01			Description and chart or timeline of the intended sequence of major activities which disturb soils for the major				

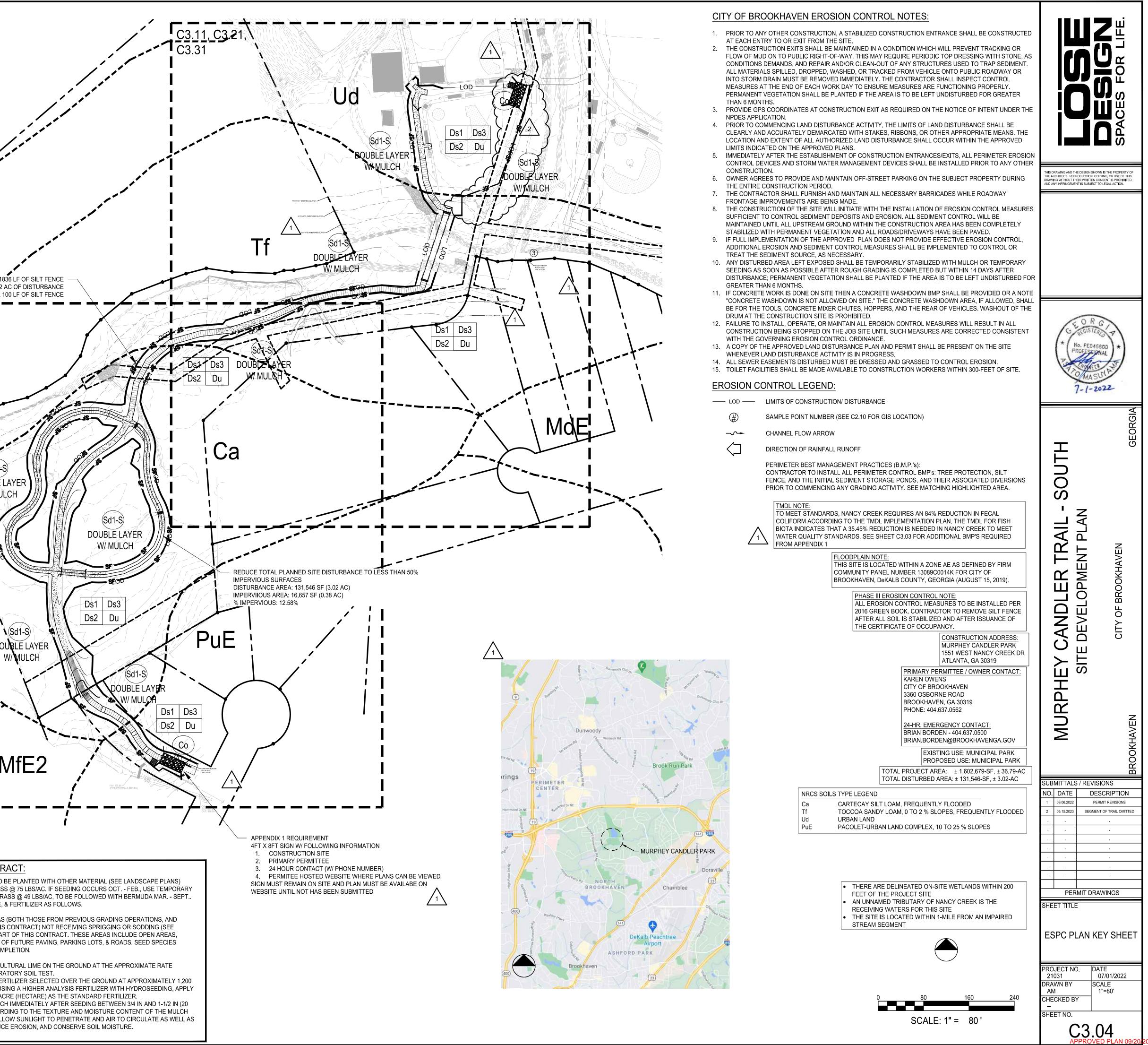
complete requirem	ents of Inspec	tions and reco	ord keeping b	y the primary p	permittee. *		
complete requirem	ents of Sampl	ing Frequency	and Report	ng of sampling	results. *		
complete details for							
tion of analytical me			[	•		*	
		1	1				
ix B rationale for N		1	1		1		
te all sampling locat		al and intermitt	ent streams ar	nd other water	bodies into wh	ich	
vater is discharged.	*						
iption of appropriate						-	
l sediment storage i		-				-	
and (3) final BMPs. BMPs, <mark>i</mark> ntermediate					-		
e BMPs into a single						nay combine	
scale and North ar	•						
		contour lines	drown of on i	to much in a seco	rdanaa witta ttaa	fallowing	
and proposed con lap Scale	Ground		Contour In		rdance win ne	ioliowing.	
ch = 100ft or	Flat 0		0.5 o				
ger scale		2 - 8%	1 or				
	Steep	8% +	2,5 o	r 10			
alternative BMPs wh	nose performa	ance has beer	documented	to be equivale	nt to or superio	or to	
tional BMPs as cer	-			-			
ter Conservation C	ommission). I	Please refer to	the Alternativ	e BMP Guidar	nce Document f	ound at	
aswcc.georgia.gov.							
alternative BMP for	application to	the Equivalen	t BMP List Ple	ase refer to A	ppendix A-2 of	the Manual	
ion & Sediment Cor	ntrol in Georg	ia 2016 Editio	n. <b>*</b>				
tion of the applicable	e 25-foot or 5	0-foot undistur	bed buffers a	djacent to state	waters and an	y additional	
equired by the Loc	al Issuing Aut	hority. Clearly	y note and de	lineate all area	as of impact		
tion of on-site wetlar	nds and all sta	ate waters loca	ated on and w	ithin 200 feet o	f the project site		
tion and acreage of	contributing o	drainage basir	is on the proje	ect site.			
hydrology study a	nd maps of dr	ainage basins	for both the p	re- and post-c	leveloped cond	litions. *	
nate of the runoff coe	efficient or nea	ak discharge f	ow of the site	prior to and aft	er construction	activities are	
ed.							
rain pipe and weir	velocities with	appropriate o	utlet protection	n to accommod	late discharges	without	
. Identify/Delineate							
es for the project sit		1					
ts of disturbance for		1					
a minimum of 67 cu		1	1	rained using a	tomporary co	limonthasin	
d detention pond, a							
volume must be in							
been achieved. A							
nt basin is not attain	able must be	included in the	Plan for eacl	n common drai	inage location i	n which a	
nt basin is not provi					-		
given. Worksheet						-	
design professiona dimentbasins and ir							
surface, unless infe							
i justification explain							
n of Best Manageme	ent Practices t	hat are consis	tent with and r	io less stringer	nt than the Man	ual for	
and Sediment Con	trol in Georgia	a. Use uniform	n coding symb	ols from the M	lanual, Chapter	<sup>°</sup> 6, with	
detailed drawings	for all structur	al practices. S	Specifications r	nust, at a minin	num, meet the g	uidelines set	
he Manual for Eros	ion and Sedir	ment Control ir	Georgia.				
vegetative plan, no	oting all tempo	rary and perr	nanent vegeta	tive practices.	Include specie	s, planting	
nd seeding, fertilizer		-			· · · · · · · · · · · · · · · · · · ·	ropriate time	
ear that seeding will	take place ar	nd for the appr	opriate geogr	aphic region c	of Georgia.		
is checklist for a pro					evelopment		
)0 ft of a perennial s	stream, the * o	hecklist items v	would be N/A				
					Effective J	<mark>anuary 1, 2</mark>	022

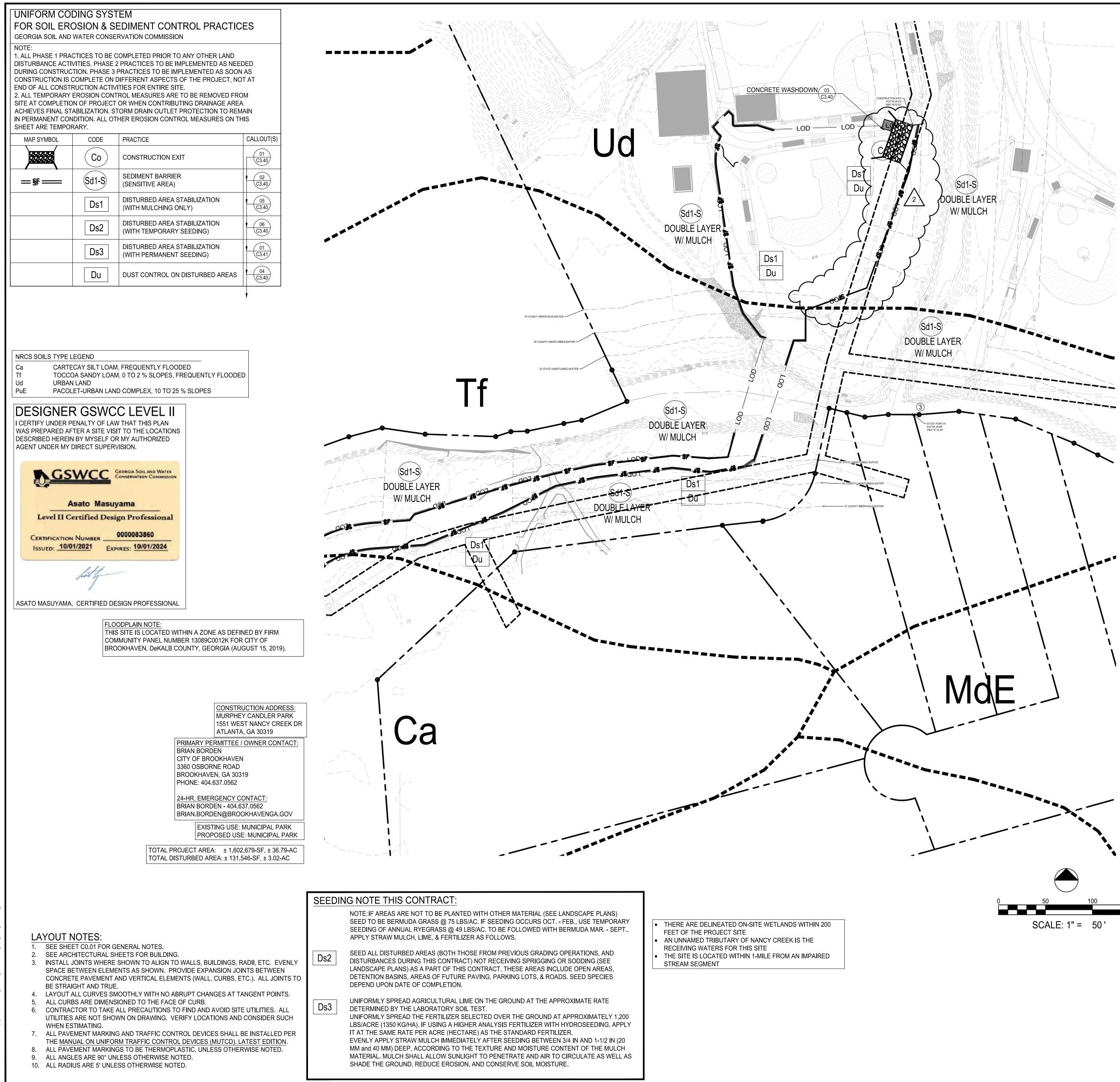
 $\int_{1}$ 

	Т	HE	APPENDIX 1 ES&PC PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE FOLLOWING BMPS FOR THOSE AREAS OF		
			E SITE WHICH DISCHARGE TO AN IMPAIRED STREAM SEGMENT AND FOR SITES WHICH EPD HAS APPROVED IN WRITING A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME.		<b>ШZ</b> Щ
Plan	Included		The four items chosen must be appropriate for the site conditions.		
Page #	Y/N	a.	. During construction activities, double the width of the 25-foot undisturbed vegetated buffer along		
			all State waters requiring a buffer and the 50-foot undisturbed vegetated buffer along all State waters classified as "trout streams" requiring a buffer. During construction activities, EPD will		
		b.	not grant variances to any such buffers that are increased in width. Increase all temporary sediment basins and retrofitted storm water management basins to		
		C	provide sediment storage of at least 3600 cubic feet (134 cubic yards) per acre drained. Use baffles in all temporary sediment basins and retrofitted storm water management basins to		
C3.04	Y		at least double the conventional flow path length to the outlet structure. A large sign (minimum 4 feet x 8 feet) must be posted on site by the actual start date of		<b> </b> ග්ර
00.01		u.	construction. The sign must be visible from a public roadway. The sign must identify the following: (1) construction site, (2) the permittee(s), (3) the contact person(s) and telephone		
			number(s), and (4) the permittee-hosted website where the Plan can be viewed must be provided on the submitted NOI. The sign must remain on site and the Plan must be available		THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF THE ARCHITECT. REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THEIR WRITTEN CONSENT IS PROHIBITED, AND ANY INFRINGEMENT IS SUBJECT TO LEGAL ACTION.
		e.	on the provided website until a NOT has been submitted. Use flocculants or coagulants and/or mulch to stabilize areas left disturbed for more than seven		
C3.04	Y	f.	<ul><li>(7) calendar days in accordance with <b>Part III. D.1.</b> of the current NPDES Permits.</li><li>Conduct turbidity sampling after every rain event of 0.5 inch or greater within any 24-hour</li></ul>		
		g	period, recognizing the exceptions specified in <b>Part IV.D.6.d.</b> of the current NPDES Permits. Comply with the applicable end-of-pipe turbidity effluent limit, without the "BMP defense" as		
C3.04	Y	h.	provided for in O.C.G.A. 12-7-6 (a)(1). Reduce the total planned site disturbance to less than 50% impervious surfaces (excluding any		
			State-mandated buffer areas from such calculations). All calculations must be included on the Plan.		
		i.	Limit the amount of disturbed area at any one time to no greater than 25 acres or 50% of the total planned site, whichever is less. All calculations must be included on the Plan.		
		j.	Use "Dirt II" techniques available on the EPD website to model and manage construction storm water runoff (including sheet flow). All calculations must be included on the Plan.		
		k.	(https://epd.georgia.gov/erosion-and-sedimentation) Add appropriate organic soil amendments (e.g., compost) and conduct pre- and post-		GEORG
			construction soil sampling to a depth of six (6) inches to document improved levels of soil carbon after final stabilization of the construction site.		* No. PE046600 *
C3.04	Y	I.	Use mulch filter berms, in addition to a silt fence, on the site perimeter wherever construction storm water (including sheet flow) may be discharged. Mulch filter berms cannot be placed in		To Algher ST
		m	waterways or areas of concentrated flow. . Use appropriate erosion control slope stabilization instead of concrete in all construction storm		7-1-2022
		n	water ditches and storm drainages designed for a 25-year, 24-hour rainfall event. Use flocculants or coagulants under a passive dosing method (e.g., flocculant blocks) within		
			construction storm water ditches and storm drainages that feed into temporary sediment basins and retrofitted management basins.		GEORGIA
		0.	Install sod for a minimum 20-foot width (in lieu of seeding) after final grade has been achieved, along the site perimeter wherever storm water (including sheet flow) may be discharged.		
		p.	. Conduct soil tests to identify and to implement site-specific fertilizer needs.		
		q.	. Certified personnel for primary permittees shall conduct inspections at least twice every seven (7) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or		
			greater in accordance with <b>Part IV.D.4.a.(3)(a)</b> – (c); secondary permittees, <b>Part IV.D.4.b.(3)(a)</b> – (c); and tertiary permittees <b>Part IV.D.4.c.(3)(a)</b> – (c) *		.nos
		r.	Apply the appropriate compost blankets (minimum depth 1.5 inches) to protect soil surfaces until vegetation is established during the final stabilization phase of the construction activity.		'. Z
		S.	Use alternative BMPs whose performance has been documented to be superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil		
			and Water Conservation Commission). (If using this item please refer to the Alternative BMP guidance document found at <i>www.gaswcc.georgia.gov</i> )		
		t	Limit the total planned site disturbance to less than 15% impervious surfaces (excluding any state mandated buffer areas from such calculations). All calculations must be included in the		
		U.	Plan. Conduct inspections during the intermediate grading and drainage BMP phase and during the final BMP phase of the project by the design professional who prepared the Plan in accordance		ANDLER T DEVELOPMEN CITY OF BROOKHAV
			with <b>Part IV.A.5</b> of the permit. The Plan must include a statement that the primary permittee must retain the design professional who prepared the Plan to conduct inspections during the intermediate grading and drainage BMP phase and during the final BMP		CITY OF E
		V	phase. Install Post Construction BMPs (e.g., runoff reduction BMPs) which remove 80% TSS as		
		•	outlined in the Georgia Stormwater Management Manual known as the Blue Book or an equivalent or more stringent design manual.		
			* This requirement is different for infrastructure projects:		
			Certified personnel for primary permittees shall conduct inspections at least once every seven (7) calendar days and within 24 hours of the end of the storm that is 0.5 inches rainfall or		
			greater in accordance with Part IV.D.4.a.(3)(a) – (c) of the permit		
					ROOKHAVEN
				PRIMARY PERMITTEE / OWNER CONTACT: BRIAN BORDEN	BROO
				CITY OF BROOKHAVEN 3360 OSBORNE ROAD	
				BROOKHAVEN, GA 30319 PHONE: 404.637.0562	NO.         DATE         DESCRIPTION           1         09.06.2022         PERMIT REVISIONS
				24-HR. EMERGENCY CONTACT: BRIAN BORDEN - 404.637.0562	2 04/12/2023 PER CITY COMMENTS 09/19/2022
				BRIAN.BORDEN@BROOKHAVENGA.GOV	
			I CERT	SIGNER GSWCC LEVEL II	
			DESC	REPARED AFTER A SITE VISIT TO THE LOCATIONS RIBED HEREIN BY MYSELF OR MY AUTHORIZED UNDER MY DIRECT SUPERVISION.	
					PERMIT DRAWINGS SHEET TITLE
				GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION	SHEET HILE
				Asato Masuyama	ESPC NOTES
				Level II Certified Design Professional	
				ERTIFICATION NUMBER 0000083860	PROJECT NO. DATE 21031 07/01/2022
				SSUED: 10/01/2021 EXPIRES: 10/01/2024	DRAWN BY SCALE N.T.S. CHECKED BY
				hesty	CHECKED BY  SHEET NO.
			ΛΟΛΤ	MASUYAMA, CERTIFIED DESIGN PROFESSIONAL	C3.03
			ASATC		APPROVED PLAN 11/14/ Permit # LDP22-00012

	ODING SYSTEM ROSION & SEDIM	ENT CONTRC	L PRACTICES			
GEORGIA SOIL AN	ND WATER CONSERVATIO	N COMMISSION				
1. ALL PHASE 1 PI	RACTICES TO BE COMPLE CTIVITIES. PHASE 2 PRAC					
DURING CONSTR	UCTION. PHASE 3 PRACTI	CES TO BE IMPLEM	ENTED AS SOON AS			
	IS COMPLETE ON DIFFER		IE PROJECT, NOT AT		<b>D</b> .	. –
	RY EROSION CONTROL MI TION OF PROJECT OR WH				Ρι	
ACHIEVES FINAL	STABILIZATION. STORM D	RAIN OUTLET PROT	ECTION TO REMAIN			ĺ
IN PERMANENT C SHEET ARE TEMF	ONDITION. ALL OTHER EF PORARY.	ROSION CONTROL M	EASURES ON THIS			
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				]		1836 LF OF SILT FENCE
	ER GSWCC LE		Ţ		በ 16	3.02 AC OF DISTURBANCE AC PER 100 LF OF SILT FENCE
	R PENALTY OF LAW THAT T AFTER A SITE VISIT TO TH			F		
DESCRIBED HERE	EIN BY MYSELF OR MY AU				C3.12, C <b>3.2</b> 2,	
AGENT UNDER M	Y DIRECT SUPERVISION.				C3.32	
		OIL AND WATER		I	A A	
C.G.	SWCC GEORGIA S CONSERVAT	ION COMMISSION		-  _	A PARTIE AND A PAR	
	Asato Masuyama			I		
Level II	Certified Design Pro	ofessional			$\wedge$	
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				sr cou		
	ON ACTIVITY WHICH DISC				S COUNTY IMPERIYOUS BUIFFER	W/ MULCH
	ADDITIONAL BMPs WILL BE ISCHARGES TO THE IMPA			· IHE		
1. A LARG	E SIGN ( MINIMUM 4FT X 8	FT) MUST BE POST	ED ON SITE BY THE ACT	JAL		
	DATE OF CONSTRUCTION AY. THE SIGN MUST IDEN					
THE PE	RMITTEE(S), (3) THE CON PERMITEE-HOSTED WEBS	TACT PERSON(S) AN	D TELEPHONE NUMBER	S), AND		Ĩ.
PROVID	ED ON THE SUBMITTED N	OI. THE SIGN MUST	REMAIN ON SITE AND T			
MUST B SUBMIT	E AVAILABLE ON THE PRO TED.	OVIDED WEBSITE UN	ITIL A NOT HAS BEEN	, X		
	CT TURBITY SAMPLING AF ANY 24-HOUR PERIOD, RI					
IV.D.6.D.	. OF THE CURRENT NPDE E THE TOTAL PLANNED SI	S PERMITS.				
SURFAC	CES (EXCLUDING ANY STA	TE-MANDATED BUF	FER AREAS FROM SUCH	VIOUS		
4. USE MU	ATIONS). ALL CALCULAT ILCH FILTER BERMS, IN AI	DDITION TO A SILT F	ENCE, ON THE SITE PER			(Sd1-S)
WHERE	VER CONSTRUCTION STO RGED. MULCH FILTER BE	RM WATER (INCLU	NING SHEET FLOW) MAY	BE		DOUBLE LAYER
	OF CONCENTRATED FLO					W/ MULCH
דו וחעם ו	NOTES:			T*		
1. SEE SI	HEET CO.01 FOR GENERA			I		
	RCHITECTURAL SHEETS F _L JOINTS WHERE SHOWN		S, BUILDINGS. RADII FT	C. EVENLY		
SPACE	E BETWEEN ELEMENTS AS	SHOWN. PROVIDE	EXPANSION JOINTS BE	WEEN		
BE STF	RETE PAVEMENT AND VEI RAIGHT AND TRUE.	·				
	JT ALL CURVES SMOOTHL JRBS ARE DIMENSIONED			POINTS.	7	
6. CONTF	RACTOR TO TAKE ALL PRI IES ARE NOT SHOWN ON	ECAUTIONS TO FINE	AND AVOID SITE UTILIT		i i	
WHEN	ESTIMATING.			/ <b>`</b>	Sut 1	MfE2
THE <u>M</u>	ANUAL ON UNIFORM TRA	FFIC CONTROL DEV	ICES (MUTCD). LATEST E	DITION.		
9. ALL AN	AVEMENT MARKINGS TO E NGLES ARE 90° UNLESS O	THERWISE NOTED.	, UNLESS UTHERWISE N	ע⊐ובט. ∎	1	
10. ALL RA	ADIUS ARE 5' UNLESS OTH	IERWISE NOTED.		L	·	
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	Poi	nt Table		SEED	ING NOTE THIS (	
Point #	Raw Description	Northing	Easting		SEED TO BE BERMU	NOT TO BE PLANTED WITH OTH DA GRASS @ 75 LBS/AC. IF SEE
1	CONSTRUCTION EXIT #	1 N033° 54' 28.58"	W084° 19' 32.62"			L RYEGRASS @ 49 LBS/AC, TO E XH, LIME, & FERTILIZER AS FOLL
1	CONSTRUCTION EXIT #2	2 N033° 54' 16.92"	W084° 19' 39.82"			
2				• • • • • • • • • • • • • • • • • • •		D AREAS IRITIA TARGE COMMUNICATION
2 3	STUDY POINT #1	N033° 54' 25.69"	W084° 19' 32.40"	Ds2	DISTURBANCES DUF	RING THIS CONTRACT) NOT RECI
		N033° 54' 25.69" N033° 54' 22.62"	W084° 19' 32.40" W084° 19' 44.83"	Ds2	DISTURBANCES DUF LANDSCAPE PLANS) DETENTION BASINS,	ING THIS CONTRACT) NOT RECL AS A PART OF THIS CONTRACT. AREAS OF FUTURE PAVING, PA
3	STUDY POINT #1			Ds2	DISTURBANCES DUF LANDSCAPE PLANS)	D AREAS (BOTH THOSE FROM P RING THIS CONTRACT) NOT RECE AS A PART OF THIS CONTRACT. AREAS OF FUTURE PAVING, PAF OF COMPLETION.
3	STUDY POINT #1			Ds2 Ds3	DISTURBANCES DUF LANDSCAPE PLANS) DETENTION BASINS, DEPEND UPON DATE UNIFORMLY SPREAE	ING THIS CONTRACT) NOT RECL AS A PART OF THIS CONTRACT. AREAS OF FUTURE PAVING, PA

ATORY SOIL TEST. UNIFORMLY SPREAD THE FERTILIZER SELECTED OVER THE GROUND AT APPROXIMATELY 1,200 LBS/ACRE (1350 KG/HA). IF USING A HIGHER ANALYSIS FERTILIZER WITH HYDROSEEDING, APPLY IT AT THE SAME RATE PER ACRE (HECTARE) AS THE STANDARD FERTILIZER. EVENLY APPLY STRAW MULCH IMMEDIATELY AFTER SEEDING BETWEEN 3/4 IN AND 1-1/2 IN (20 MM and 40 MM) DEEP, ACCORDING TO THE TEXTURE AND MOISTURE CONTENT OF THE MULCH MATERIAL. MULCH SHALL ALLOW SUNLIGHT TO PENETRATE AND AIR TO CIRCULATE AS WELL AS SHADE THE GROUND, REDUCE EROSION, AND CONSERVE SOIL MOISTURE.





## CLEARING PHASE EROSION CONTROL NOTES

PRIOR TO THE LAND DISTURBING CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS OR STREAM BUFFERS, IF POSSIBLE.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITIES SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES. NO LAND DISTURBANCE SHALL TAKE PLACE OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES.

- 1. THE CONSTRUCTION EXIT, CONSISTING OF A MINIMUM PAD SIZE OF 20 FEET BY 50 FEET WITH A MINIMUM OF 6" THICK STONE, SHALL BE PLACED AS SHOWN ON THE PLANS. THE STONE SIZE SHALL CONSIST OF COURSE AGGREGATE BETWEEN 1-1/2" & 3-1/2" IN DIAMETER AND OVERLAID ON A GEOTEXTILE UNDERLINER. THE GEOTEXTILE UNDERLINER SHALL MEET THE REQUIREMENTS OF AASHTO M266-96, SECTION 7.3 SEPARATION REQUIREMENTS.
- 2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXIT ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.
- 3. TYPE 'C' SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-27.1. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
- 4. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLANS. SEE SEPARATE DETAIL FOR SPECIFICS ON TYPE OF INLET PROTECTION SPECIFIED.
- 5.STONE CHECK DAMS SHALL BE INSTALLED ON ALL EXISTING CONCENTRATED FLOWS AS SHOWN ON THE PLANS.
- 6. TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE ACTIVITY AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. THE TREE PROTECTION FENCING SHOULD BE INSPECTED DAILY. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.

AFTER INSTALLATION OF INITIAL EROSION CONTROL MEASURES THE SITE CONTRACTOR SHALL SCHEDULE AN INSPECTION BY THE PROJECT DESIGN PROFESSIONAL. NO OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE PROJECT DESIGN PROFESSIONAL APPROVES THE INSTALLATION OF SAID EROSION CONTROL MEASURES. IF UNFORESEEN CONDITIONS EXIST IN THE FIELD THAT WARRANT CONSTRUCTION OF ADDITIONAL EROSION CONTROL MEASURES, THE CONTRACTOR MUST CONSTRUCT ANY ADDITIONAL EROSION CONTROL DEVICES DEEMED NECESSARY BY THE SITE INSPECTOR.

AFTER APPROVAL OF THE INITIAL EROSION CONTROL INSTALLATION, THE CONTRACTOR MAY PROCEED WITH CLEARING AND GRUBBING ACTIVITIES. AS CLEARING PERMITS THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT PONDS AND DIVERSION DIKES AS SHOWN ON THE CLEARING PHASE PLAN TO CONTROL EROSION AND STORM WATER RUNOFF.

THE DESIGN PROFESSIONAL WHO PREPARED THE ESPC PLAN WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN SEVEN DAYS AFTER INSTALLATION.

THE CONTRACTOR CAN UTILIZE CLEARED TREES AS BARRIER BRUSH SEDIMENT CONTROL IN AREAS SHOWN ON PLAN WHERE INITIAL GRADING ACTIVITIES WILL NOT OCCUR.

NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT WRITTEN PERMISSION BY THE OWNER AND/OR THE ENGINEER OF RECORD.

ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN ON THE PLANS AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL TAKE PLACE UNTIL SILT BARRIER INSTALLATION AND SEDIMENT PONDS ARE CONSTRUCTED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.

ALL SILT FENCE MUST MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE FOR THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATIONS, 1983.

ALL ITEMS IN THIS SECTION OF THE SPECIFICATIONS SHALL MEET THE REQUIREMENTS AS SET FORTH IN SECTION 161, 162, 163, AND 164 OF GEORGIA D.O.T. STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY, THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3 INCH STONE, AS CONDITIONS DEMAND. ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLAN.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

ALL CLEARING AND GRUBBING DEBRIS TO BE CHIPPED AND MULCHED FOR USE IN SEDIMENT AND EROSION CONTROL PREVENTION.

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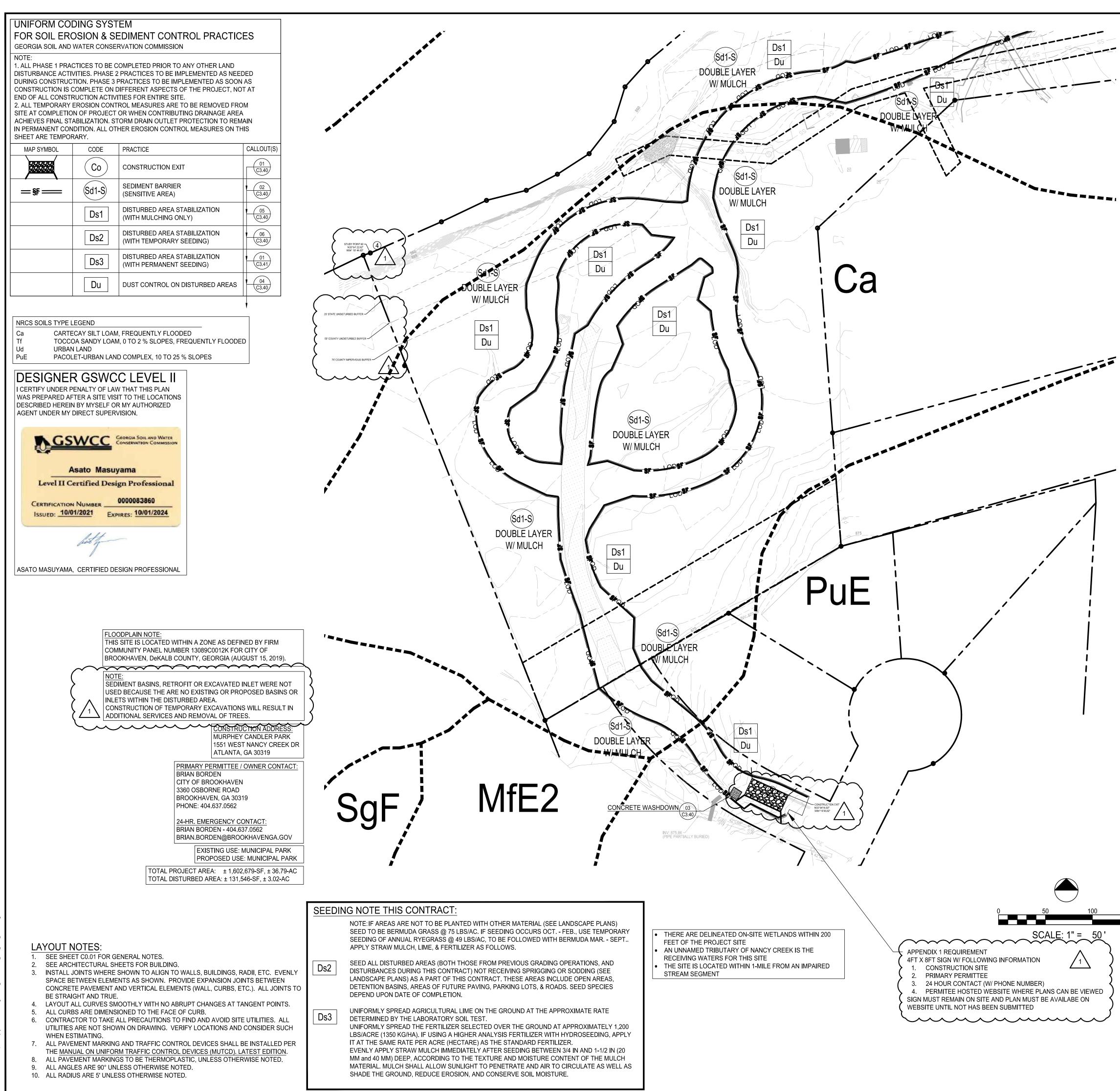
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## CLEARING PHASE EROSION CONTROL NOTES

PRIOR TO THE LAND DISTURBING CONSTRUCTION THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR.

THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL COVER IS EXPOSED ONLY IN SMALL QUANTITIES.

THE OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

NO STAGING AREAS, MATERIAL STORAGE, CONCRETE WASH OUT AREAS, OR DEBRIS BURN AND BURIAL HOLES SHALL BE LOCATED WITHIN 500 FEET OF DESIGNATED TREE PROTECTION AREAS OR STREAM BUFFERS, IF POSSIBLE.

A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITIES SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES. NO LAND DISTURBANCE SHALL TAKE PLACE OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.

PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE OR ONTO ANY PUBLIC ROADWAY.

THE FOLLOWING INITIAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES.

- 1. THE CONSTRUCTION EXIT, CONSISTING OF A MINIMUM PAD SIZE OF 20 FEET BY 50 FEET WITH A MINIMUM OF 6" THICK STONE, SHALL BE PLACED AS SHOWN ON THE PLANS. THE STONE SIZE SHALL CONSIST OF COURSE AGGREGATE BETWEEN 1-1/2" & 3-1/2" IN DIAMETER AND OVERLAID ON A GEOTEXTILE UNDERLINER. THE GEOTEXTILE UNDERLINER SHALL MEET THE REQUIREMENTS OF AASHTO M266-96, SECTION 7.3 SEPARATION REQUIREMENTS.
- 2. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCE/EXIT ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE CLEARING PHASE EROSION CONTROL PLAN.
- 3. TYPE 'C' SILT FENCE SHOULD BE INSTALLED AT THE PERIMETER OF THE DISTURBED AREA AS SHOWN ON THE PLAN. THE SILT FENCE IS TO BE 30" IN HEIGHT. THE SILT FENCE SHOULD BE PLACED IN ACCORDANCE WITH THE MANUAL FOR EROSION CONTROL IN GEORGIA, TABLE 6-27.1. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR THE PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCING SHOULD BE REPAIRED IMMEDIATELY.
- INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM STRUCTURES AS SHOWN ON THE PLANS. SEE SEPARATE DETAIL FOR SPECIFICS ON TYPE OF INLET PROTECTION SPECIFIED.
- 5. STONE CHECK DAMS SHALL BE INSTALLED ON ALL EXISTING CONCENTRATED FLOWS AS SHOWN ON THE PLANS.
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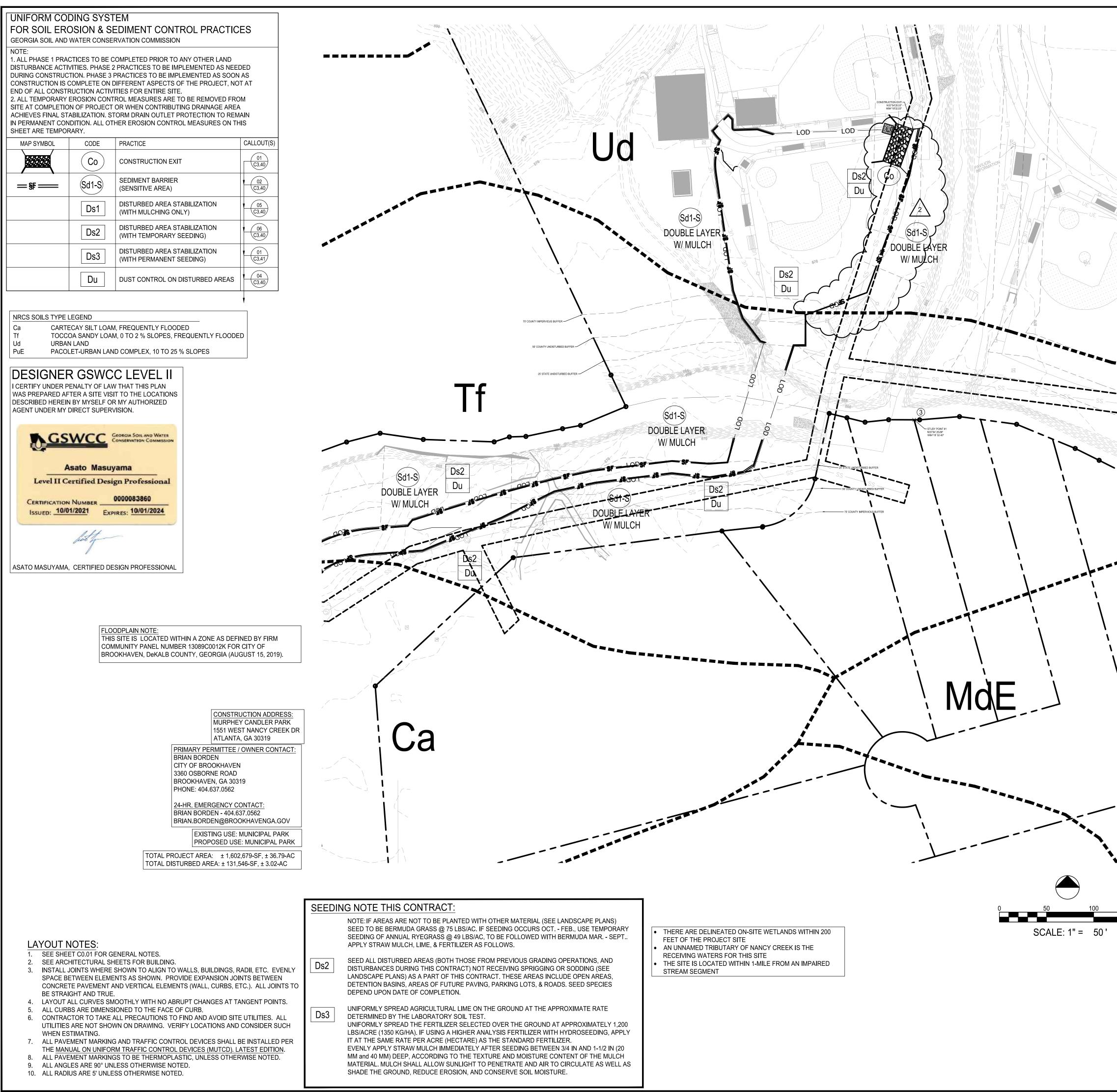
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## **GRADING PHASE EROSION CONTROL NOTES**

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION:

MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE TO INSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND THEREFORE LIMITED DURATION, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED. NOTE SUB PHASES SHOWN ON PLANS.

EARTHWORK OPERATIONS IN THE VICINITY OF STREAM BUFFERS SHALL BE CAREFULLY CONTROLLED TO AVOID DUMPING OR SLOUGHING INTO THE BUFFER AREAS.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERNS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT THE VARIOUS STAGES OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.

THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE ROADWAY FRONTAGE IMPROVEMENTS ARE BEING MADE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOE OF SLOPES UNDER CONSTRUCTION. THESE BARRIERS SHALL BE SHOWN IN THE PLANS. THESE BARRIERS MAY BE RELOCATED AND REUSED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. AS THEY ARE RELOCATED, ANY DEFECTIVE MATERIALS IN THE BARRIER SHALL BE REPLACED. IN ADDITION, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.

ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF 10FT OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL MATTING OR BLANKETS IMMEDIATELY.

TYPE "C" SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS AND ALL FILL SLOPES 10FT OR GREATER IN HEIGHT. THE SILT FENCE SHALL BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED ON THE SLOPE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. ADDITIONALLY, DIVERSION DIKES SHALL BE SHALL BE CONSTRUCTED ALONG THE TOP OF ALL SAID FILL SLOPES WITH THE USE OF TEMPORARY DOWN DRAINS TO CONTROL STORMWATER RUNOFF AS SHOWN ON THE PLANS.

INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW FOR SPECIFIC TYPE AND SEPARATE DETAILS FOR ADDITIONAL INFORMATION ON TYPE OF INLET PROTECTION SPECIFIED.

STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON PLAN. THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED. INDICATORS MUST BE INSTALLED IN SEDIMENT BASINS INDICATING THE 1/3 FULL VOLUME FOR CLEANOUT.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED. DROPPED. WASHED. OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

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THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

ALL INLET HEADWALLS TO BE PROTECTED WITH SILT GATES, AND ALL DROP INLETS TO BE UNDERCUT 1.5FT DEEP BY 10FT IN DIAMETER.

ERODED VEGETATED SLOPES WILL BE BACKFILLED, SMOOTHED, SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

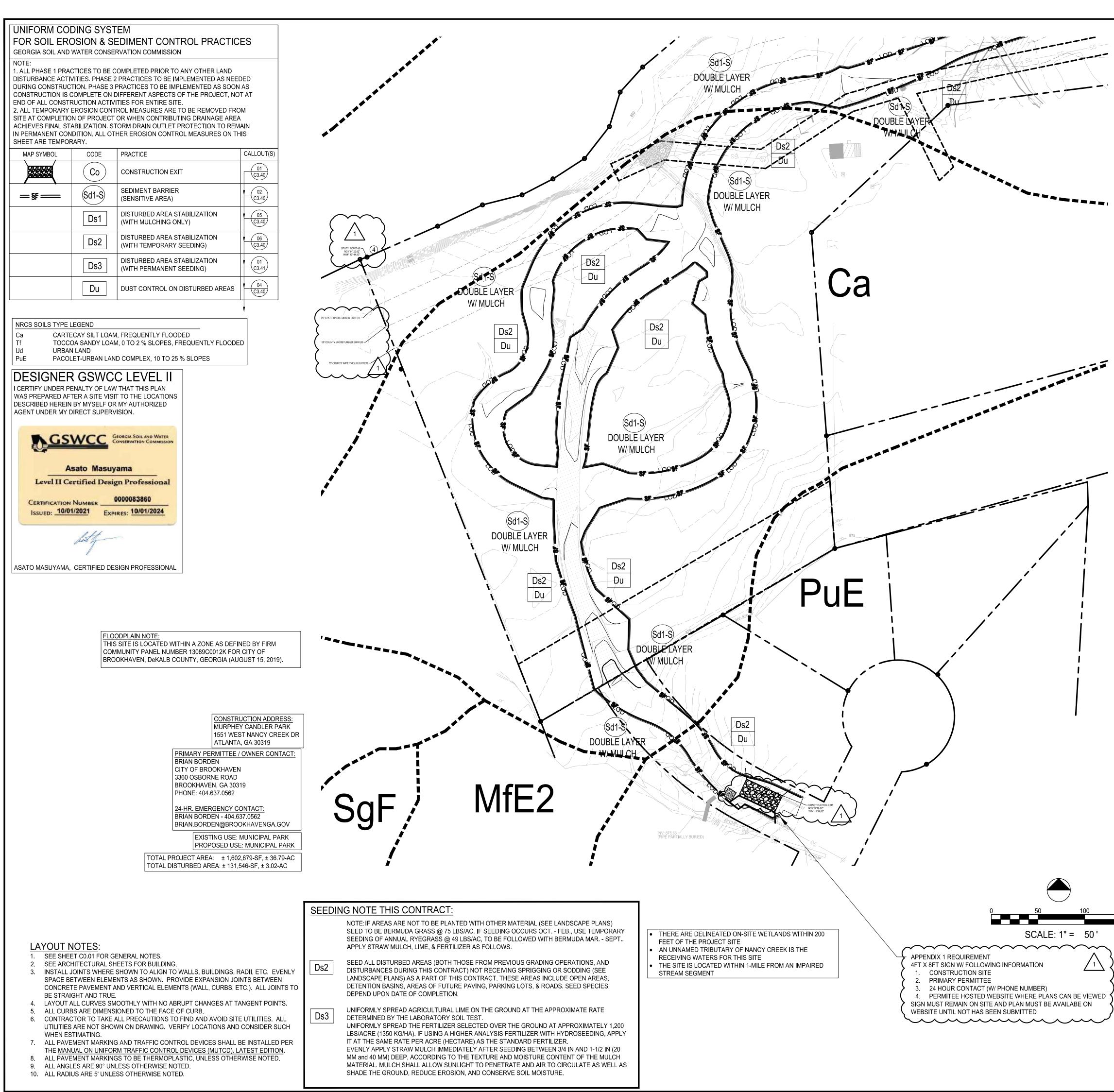
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STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED

WITH MULCH OR TEMPORARY SEEDING. ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

AFTER PRELIMINARY GRADING ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASINS AND DIVERSION DIKES AS SHOWN ON PLAN. THE CONTRACTOR SHALL MAINTAIN THE SEDIMENT POND UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE 1/3 DEPTH OF BASIN. SEE SEPARATE DETAILS FOR ADDITIONAL INFORMATION.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED. INDICATORS MUST BE INSTALLED IN SEDIMENT BASINS INDICATING THE 1/3 FULL VOLUME FOR CLEANOUT.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

CONTRACTOR SHALL INSPECT CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE, OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR.

FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLANS.

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.

ALL INLET HEADWALLS TO BE PROTECTED WITH SILT GATES, AND ALL DROP INLETS TO BE UNDERCUT 1.5FT DEEP BY 10FT IN DIAMETER.

ERODED VEGETATED SLOPES WILL BE BACKFILLED, SMOOTHED, SEEDED OR GRASSED AND COVERED WITH GEOTEXTILE MATTING.

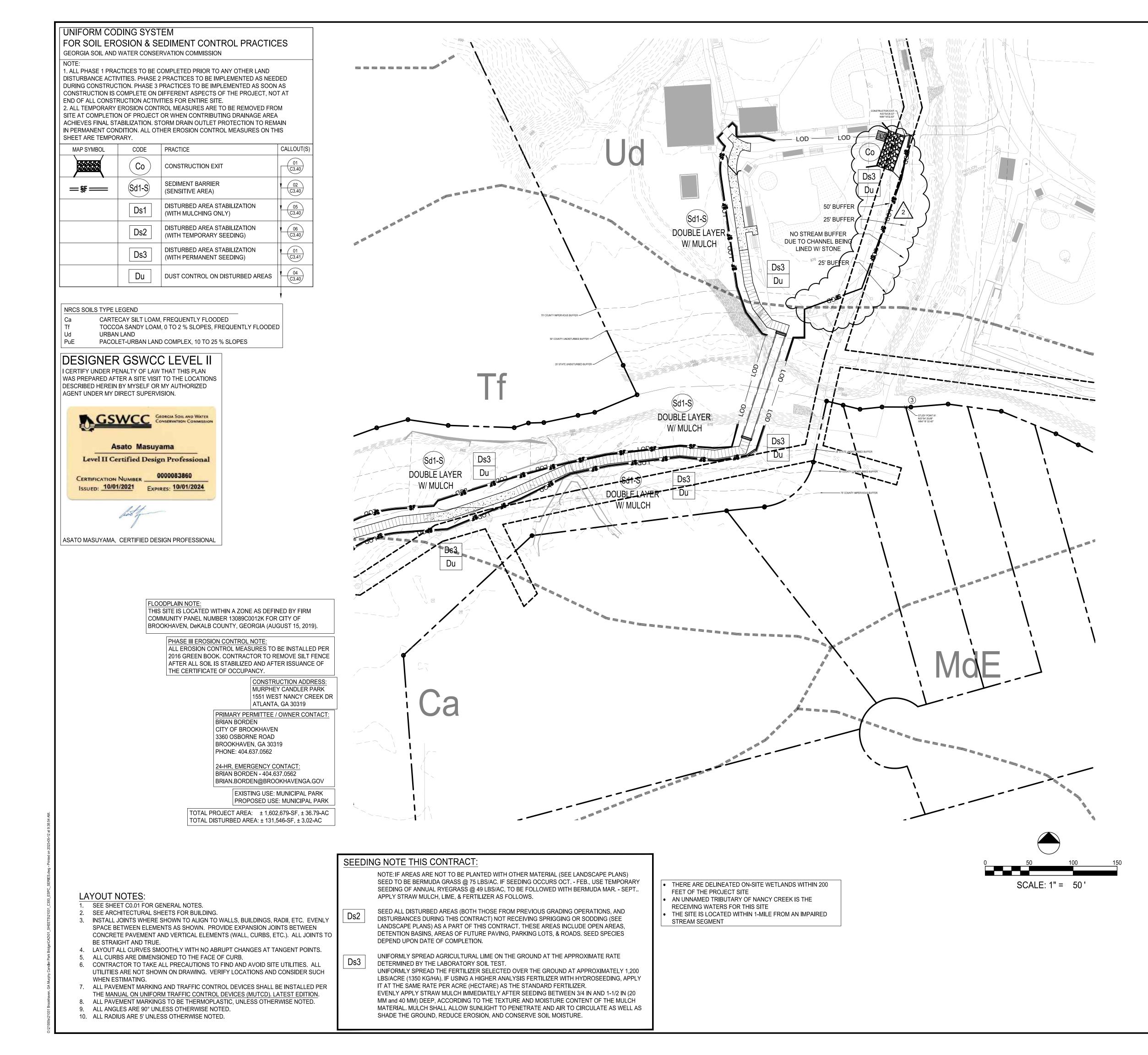
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

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## FINAL PHASE EROSION CONTROL NOTES

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF CONSTRUCTION:

MAINTAIN FULL COORDINATION WITH THE DESIGN PROFESSIONAL, CONTRACTOR AND REGULATORY INSPECTOR AT ALL TIMES REGARDING PROJECT SEQUENCE.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM THE SEDIMENT TRAPS AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLETS AGAIN.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 7 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASSING.

THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE PONDS WHEN IT REACHES THE HALF-WAY POINT ON THE RISER.

AFTER CURBING, GRADED AGGREGATE BASE, AND PAVEMENT HAVE BEEN INSTALLED, ALL INLET SEDIMENT TRAPS ON SINGLE AND DOUBLE WING CATCH BASINS ALONG WITH ANY CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB FILTER INLET PROTECTION. SEE SEPARATE DETAIL FOR ADDITIONAL INFORMATION.

ALL ROADWAY AND PARKING SHOULDERS SHOULD BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.

SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE-HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1-3" OF STONE, AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

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UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED ON PLANS.

STREAM BUFFER KEY

25' BUFFER

50' BUFFER

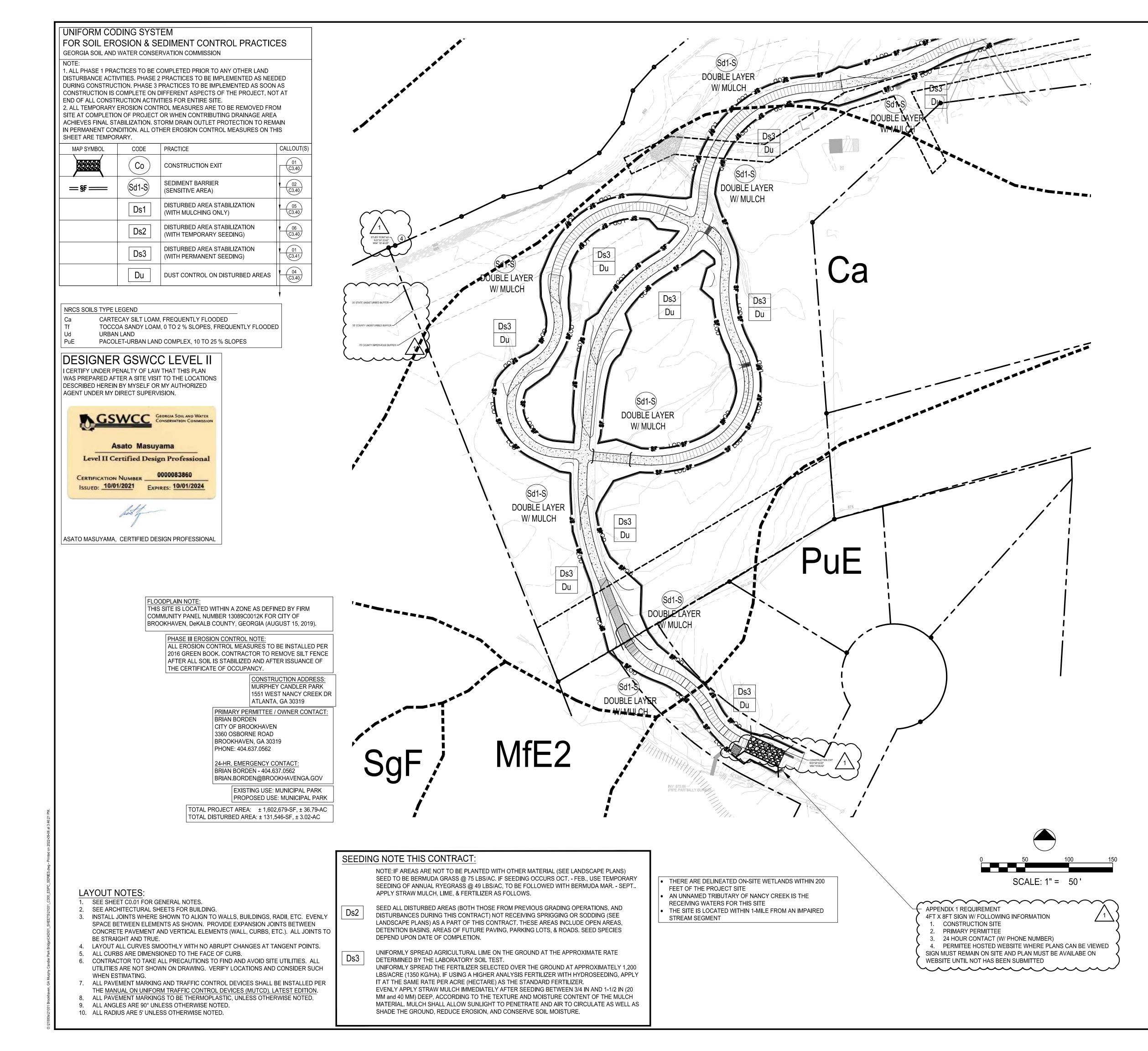
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## FINAL PHASE EROSION CONTROL NOTES

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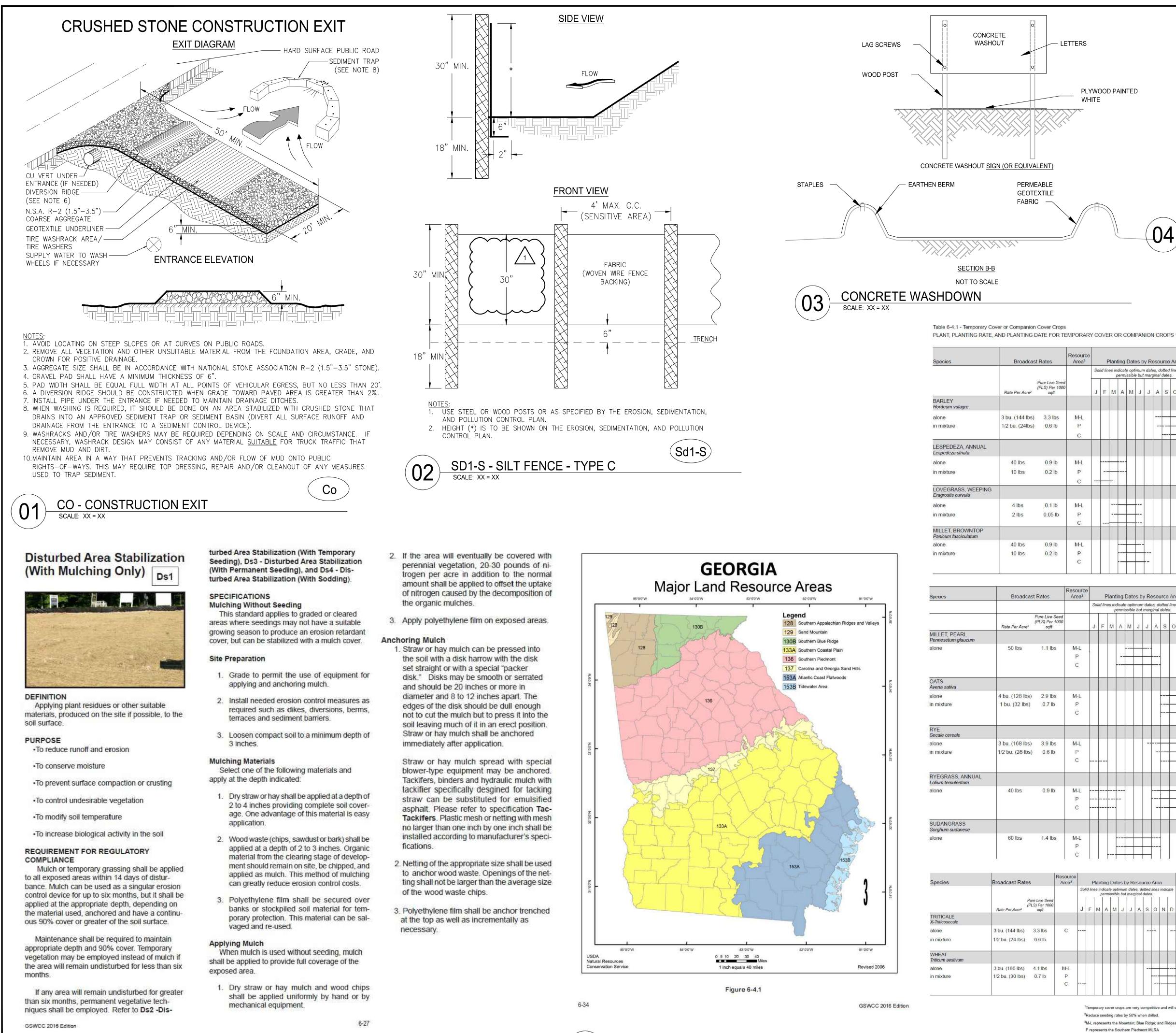


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DS1 - DISTURBED AREA STABILIZATION SCALE: XX = XX

06 SCALE: XX = XX

**DS2 - DISTURBED AREA STABILIZATION** 

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Table 1 Spray-On Adhesive Application Requirements Nozzle | Application Water Adhesive (Gal./Acre) Dilution Type Anionic Coarse 1,200 asphalt 7:1 spray emulsion Fine Latex 12.5:1 235

4:1

spray

Fine

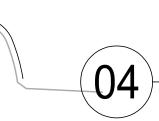
spray

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**DU - DUST CONTROL** SCALE: XX = XX

emulsion

Resin-in-

emulsion

water

				_	_	_		_					
Planting Dates by Resource Area										Remarks			
id lines indicate optimum dates, dotted lines indicate permissible but marginal dates.													
F	М	А	М	J	J	A	s	0	N	D			
										<u></u>	14,000 seed per pound. Winter hardy. Use on productive soils.		
											200,000 seed per pound. May volunteer for sev-		
-											eral years. Use inoculant EL.		
											1,500,000 seed per pound. May last for several years. Mix with <i>Sericea lespedeza</i> .		
		-									137,000 seed per pound. Quick dense cover. Will provide excessive competion in mixtures if seeded at high rate.		
D		F						A			Demodia		
Planting Dates by Resource Area									1	Remarks			

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F	м	А	М	J	J	А	s	0	N	D	
											88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
											13,000 seed per pound. Use on productive soils. Not as a winter hardy as rye or barley.
									_		18,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
	й——).		ф		о — .				5		
											227,000 seed per pound. Dense cover. Very com petitive and is <u>not</u> to be used in mixtures.
	1										55,000 seed per pound. Good on droughty sites.

Not recommended for mixtures.

Planting Dates by Resource Area Remarks Solid lines indicate optimum dates, dotted lines indicate permissible but marginal date: J F M A M J J A S O N Use on lower part of Southern Coastal Plain and in Atlantic Coastal Flatwoods only. 15,000 seed per pound. Winter hardy. <sup>1</sup>Temporary cover crops are very competitive and will crowd out perennials if seeded too heavily

<sup>2</sup>Reduce seeding rates by 50% when drilled.

<sup>3</sup>M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs P represents the Southern Piedmont MLRA

C represents Southern Coastal Plan; Sand Hills; Black Lands; and Atlantic Coast Flatwoods MLRAs

(see Figure 6-4.1, p. 6-40)

ASATO MASUYAMA, CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 0000083860

ISSUED: 10/01/2021 EXPIRES: 10/01/2024

DESIGNER GSWCC LEVEL II

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN

DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED

AGENT UNDER MY DIRECT SUPERVISION.

GSWCC

WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS

Asato Masuyama

Level II Certified Design Professional

GEORGIA SOIL AND WATER

CONSERVATION COMMISSION

7-1-2022

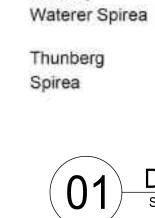
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OF SPECIESYEARseason sesFirst Second Maintenanceseason ses and mesFirst Second Maintenanceseason ses and mesFirst Second Maintenanceind coversFirst Second MaintenanceseedlingsFirst Second Maintenanceb LespedezaFirst Maintenanceb LespedezaFirst Maintenanceb corary r crops ed aloneFirst Second Maintenancein season sesFirst Second Maintenancein season ses and mesFirst Second Maintenance	e 0-12-12 0-10-10 10-10-10 10-10-10 10-10-10 20-10-5 e 0-10-10 10-10-10 10-10-10 6-12-12 6-12-12 6-12-12	1500 lbs /ac. 1000 lbs /ac. 400 lbs /ac. 1500 lbs /ac. 1000 lbs /ac. 400 lbs /ac. 1300 lbs /ac. 1300 lbs /ac. 3/ 1300 lbs /ac. 0ne 21-gram pellet per seedling placed in the closing hole 700 lbs /ac. 700 lbs /ac.	N TOP DRESSING RATE 50-100 lbs./ac. 1/2/ 30 0-50 lbs./ac. 1/	PLANT, PLANTING RATE, AND PLANTING         Species       Broadcast         Rate Per Acrest         BAHIA, PENSACOLA         Paspalum notatum         alone or with temporary         cover         60 lbs         with other perennials	st Rates Resource Area <sup>3</sup>	Planting Dates	by Resource Area	Rem	arks	CC 2016 m Species	BRATE, AND PLANTING DATE I Broadcast Rate	Resource	anting Dates by Resou	rce Area	Remarks	PLANT, PLANTING RAT	E, AND PLANTING DATE FOR	R PERMANENT COVER 1		
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season ses and mes Second Maintenance First Second Maintenance seedlings First b Lespedeza First Maintenance borary r crops ed alone n season ses and First Second Maintenance	e 0-12-12 0-10-10 10-10-10 10-10-10 10-10-10 20-10-5 e 0-10-10 10-10-10 10-10-10 6-12-12 6-12-12 6-12-12	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac. 1300 lbs./ac. 3/ 1300 lbs./ac. 0ne 21-gram pellet per seedling placed in the closing hole 700 lbs./ac. 700 lbs./ac.		BAHIA, PENSACOLA Paspalum notatum alone or with temporary cover 60 lbs	Seed (PLS)	J F M A M J					Pur	re Live d (PLS)	s indicate optimum dates, do permissible but marginal d			Species	Broadcast Rates		nting Dates by Resource	
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b Lespedeza First Maintenance porary First r crops ed alone First ses First Second Maintenance n season First Second Maintenance	e 0-10-10 0-10-10 10-10-10 6-12-12 6-12-12	per seedling placed in the closing hole 700 lbs./ac. 700 lbs./ac. 4/	_		1.4 105			<ul> <li>166,000 seed per pour</li> <li>Sod forming. Slow to e companion crop. Will s pastures and awns. Mi</li> </ul>	stablish. Plant with pread nto bermuda x with Sericea lesp	1	sod plugs 3' x3	P C		sprigs appro	bic foot contains approximately 650 s. A bushel contains 1.25 cubic feet or oximately 800 springs. e as above.	FESCUE, TALL Festuca arundinacea alone	50 lbs 1.1 lb	, M-L -		227,000 seed per pound. Use better sites. Mix with perennia
Maintenance First First ed alone n season ses Second Maintenance n season ses and Second Second	e 0-10-10 10-10-10 6-12-12 6-12-12	700 lbs./ac. 4/		30 lbs BAHIA, WILMINGTON Paspalum notatum alone or with temporary	0.7 lb C			deza or weeping loveg	rass.	Tift 78 CENTIPEDE		C			nern Coastal Plain only	with other perennials KUDZU	30 lbs 0.7 lb	P		or Crownvetch. Apply topdres following fall plantings. Not for areas or athletic fields.
r crops ed alone n season First ses Second Maintenance n season First ses and Second	6-12-12 6-12-12		-	cover 60 lbs with other perennials 30 lbs	1.4 lb M-L = 0.7 lb P =					Eremochloa ophuii	oides Block sod only	/ P				Pueraria thumbergiana				Rapid and vigorous growth. E gully erosion control. Will clim
ses Second Maintenance n season First ses and Second	6-12-12	500 lbs./ac.	30 lbs./ac. 5/	BERMUDA, COMMON Cynodon dactylon Hulled seed alone 10 lbs	P 0.21b C			1,787,000 seed per po	und. Quick cover.					Effect centra until f	ght tolerant. Full sun or partial shade. tive adjacent to concrete and in con- ated flow areas. Irrigation is needed fully established. Do not plant near ures. Winterhardy as far as north	Plants or crowns LESPEDEZA SERICEA Lespedeza cuneata	3' - 7' apart	ALL -	-	livestock forage.
ses and Second		800 lbs./ac. 400 lbs./ac.	50-100 lbs./ac. 2/6/ 50-100 lbs./ac. 2/ 30 lbs./ac.	with other perennials 6 lbs BERMUDA, COMMON Cynodon dactylon	0.7 lb			Low growing and sod f Good for athletic fileds	orming. Full sun.	CROWNVETECH Coronilla varia					ns and Atlanta	scarified	60 lbs 1.4 lb	M-L		Low maintenace. Mix with We rass, Common bermuda, bahi fescue. Takes 2 to 3 years to 1 established. Excellent on road
	6-12-12 0-10-10 e 0-10-10	1500 lbs./ac. 1000 lbs./ac. 400 lbs./ac.	50 lbs./ac./6/	Unhulled seedwith temporary cover10 lbswith other perennials6 lbs	0.2 lb P - 0.1 lb C -			Plant with winter annua Plant with Tall Fescue	als.	with winter annuals season grasses	(1997) (1977) (1997)	M-L		Droug rose, fall.	000 seed per pound. Dense growth. ght tolerant and fire resistant. Attractive pink and white blossoms spring to late Mix with 30 pounds of Tall fescue or 15 ds of rye. Inoculate see with M inocu-	unscarified	75 lbs 1.7 lb			Mix with Tall fesue or winter an Cut when seed mixture is matu fore, it shatters. Add Tall fescu
y in spring following seeding. y in split applications when high rat y in 3 split applications.	rates are used.		6-42	o Table 6-	5.2- Permanent Cover Crops					e-43	15 lbs 0	.31b   P	Table 6-5.		Use from North Atlanta and Northward.	ې seed- bearing hay ۲al	3 tons 1338 lb	os   C		annuals.
/ when plants are pruned. / to grass species only. / when plants grow to a height of 2	of 2 to 4 inches.			PLANT,	PLANTING RATE, AND PLA		Resource				Dura	ble Shrubs and			rmanent Cover		bie o o.o. burable oni		Jorei Jorrienna	nen over
6-5.2- Permanent Cover Crops IT, PLANTING RATE, AND PLANTING	ING DATE FOR PERMANENT CO			16 Species		Broadcast Rates Pure Live	Solid lines indi	ing Dates by Resource Are		Remarks	Ground covers inc cover large areas of especially the first yea	clude a wide range o the landscape. Grour ar. Maintenance is ne	f low-growing pla nd covers grow sl eded to insure sur	nts planted tog ower than grass vival. These gro	ether in considerable numbers to ses. Weeds are likely to compete bund covers will not be used unles	e, Common Name	Scientific Name	Mature Height		Comments
es Broadca		Planting Dates by Resource bid lines indicate optimum dates, dotte permissible but marginal dat	ed lines indicate	Remarks MAIDEN Panicum		Seed (PLS) 'er Acre <sup>2</sup> Per 1000 sqf	) ft JFM	A M J J A S O	N D			couraged because th			ntil plants provide adequate cove reduced and plants have time t	Holly	llex crenata 'Repandens' Juniperus	2-3 ft. 2-3 ft.	5 ft. 5 ft.	Sun, semi-shade. Excellent for slopes.
	Pure Live Seed (PLS) Acre <sup>2</sup> Per 1000 sqft J	F M A M J J A S	S O N D	sprigs	2' x 3'	spacing ALL			For very wet sprigs from I banks and s	t sites. May clog channels. Dig local sources. Use along river shorelines.	Common Name	Scientific Name	Mature Height	Plant Spacing	Comments	Juniper	horizontalis 'Plumosa'			Sun.
EDEZA o virgata odeza virgata DC ow odeza cuneata ont) G. Don)				COAST/	RASS, ATLANTIC AL n amarum var				areas, and g	on coastal sand dunes, borrow gravel pits. Provides winter cover	Albelia	Abelia grandiflora	3-4 ft.	5 ft.	Also a prostrate form 2 feet high. Sun, semi-shade. Semi- evergreen.	Andorra Compacta Juniper	Juniperus horizontalis 'Plumosa com- pacta'	1-2 ft.	5 ft.	More compact than andora.
ed 60 lbs	s 1.4 lb P C		18 to 24 inches. eas. Spreading-ty bronze coloration	pe growth. New growth has Alone Alone Alone	ANARY GRASS arundinacea 50	lbs 0.5 lb	P		on sand dun		Carolina Yellow Jessamine	Gelsemium sempervirens	low	3 ft.	Vine. Yellow, trumpet- like flowers. Hardy, one of best vines. Evergreen. Native to Georgia.	Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	8-10 in.	4 ft.	
ified 75 lbs	P		or winter annuals	Do not mix with Sericea SUNFLC sto develop solid stands. MAXIMI	OWER, 'AZTEC'	lbs 0.7 lb	P M-L -		227,000 see	ar to Tall fescue	Carpet Blue	Ajuga reptans	2-4 in.	3 ft.	Need's good drainage, partial shade. Blue or white flowers.	Blue Rug Juniper	Juniperus horizontalis 'Wiltonii'	4-6 in.	3 ft.	Very low. Sun.
leza bicolor leza thumbergii	M-L			2 PLS is	10 ce seeding rates by 50% v s an abbreviation for Pure epresents to Mountain; Blu	Live Seed. Refer to	o Section V.E. of these		lovegrass or legumes.	r other low-grwoing grasses or	Bearberry Cotoneaster	Cotoneaster dammeri	2-4 ft.	5 ft.	Evergreen. White flowers, red fruit. Sun. Evergreen.	Parsons Juniper	Juniperus davurica 'Expansa'	18-24 in.	5 ft.	One of the best, good winter cover.
GRASS, WEEPING Istis curvula	3' x3'		Provide wildlife fo	od and cover. P repre	sents the Southern Piedm sents the Souther Coasta	ont MLRA	lack Lands;and Atlantic	c Coast Flatwoods MLR	As. See Figure (	6-4.1	Ground Cover Cotoneaster	Cotoneaster salicifoluis 'Repens'	1-2 ft.	5 ft.	White flowers, red fruit. Sun. Evergreen.		(Squamata Parsoni)			
4 lbs other perennials 2 lbs	P		1,500,000 seed p Drought tolerant. lespedeza on roa	er pound. Quick cover. Grows well with Sericea dbanks.				e 6-5.4.	4		Rock Cotoneaster	Cotoneaster horizontalis	1-2 ft.	5 ft.	Semi-evergreen. Sun.	Pfitzer Juniper	Juniperus chinensis	6-8 ft.	6 ft.	Needs room.
Table 6-5.3	3. Durable Shrub	s and Ground (	Covers for Perm	anent Cover	SITE	SOIL	COMMON P			PLANTING DATES <sup>3</sup>	Virginia Creeper	Parthenocissue quinquefolia	low	3 ft.	Red in fall. Vine. Deciduous. Native to Georgia.	Prince of Wales Juniper	'Pfitzerana' Juniperus horizontalis	8-10 in.	4 ft.	Feathery appearance.
	ntific Name	Mature Height	Plant Spacing	Comments Spreads by runners.	Borrow areas,	MATERIAL	SOILS Lakeland,	SPECIES <sup>1</sup> Lobiolly pine	2	M-L,P 12/1-3/15	Daylily English Ivy	Hemerocallis spp.	2-3 ft.	2 ft. 3 ft.	Many flower colors. Full sun. Very hardy.	Sargent	'Prince of Wales' Juniperus	1-2 ft.	5 ft.	Full sun. Needs good
) Provi				10-10 - 11 - 1-	graded areas, and spoil material		Troup	(Pinus taeda) Longleaf pine (Pinus palustris)		C 12/1-3/1	English Ivy Compacta Holly	Hedera helix llex crenata 'Compacta'	low 3-4 ft.	3π. 5π.	Shade only. Climbs. Sun, semi-shade.	Juniper Shore Juniper	chinensis 'Sargentii' Juniperus conferta	2-3 ft.	5 ft.	drainage. Good winter color. Emerald Sea or Blue
af Vinca n Ikle	i major	12-15 in.	4 ft.	Lilac flowers in spring. Semi-shade.		Loamy	Orangeburg,	Lobiolly pine	2	M-L,P 12/1-3/15 C 12/1-3/1	Chinese Holly Dwarf Burford	llex cornuta 'Rotunda' Ilex burfordii	3-4 ft. 5-8 ft.	5 ft. 8 ft.	Very durable. Sun, semi-shade.					Pacific cultivars are good.
on Vinca n ikle	i minor	5-6 in.	4 ft.	Lavender-blue flowers in spring. Semi-shade			Tifton	Slash pine Loblolly pine			Dwarf Burrord Holly Dwarf Yaupon Holly	'Nana' 'Nana' Ilex vomitoria 'Nana'	5-6 ft. 3-4 ft.	8 п. 5 ft.	Very durable, sun, semi-shade.	Liriope	Liriope muscari	8-10 in.	3 ft.	
ee Rosa la	laevigata	2 ft.	5 ft.	Rampant grower. Not		Clay	Cecil, Faceville	Slash pine Virginia pine	2	M-L,P 12/1-3/15 C 12/1-3/1	GSWCC 2016 Edition					7 6-48				GSWCC 2016 Edition
				for restricted spaces. State flower.	Streambanks			Pinus virginiana) Willows* (Salix speciecs)	2ftx2ft	ALL										



Anthony

DS3 - DISTURBED AREA STABILIZATION SCALE: XX = XX

Spirea bumalda

Spirea thinbergii

3-4 ft.

3-4 ft.

5 ft.

5 ft.

Sun.

Sun.

RAs (See Figure 6-4.1).

<sup>2</sup> Type of Planting

Type of Planting	Tree Spacing	No. of Trees Per Acre
Trees alone	4 ft. x 4 ft.	2722
Trees in combination with grasses and/or other plants	6 fL x 6 fL	1210

<sup>3</sup> M-L represents the Mountains; Blue Ridge; and Ridges and Vallevs MLRAs

P represents the Southern Piedmont MLRA

C represents the Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast Flatwoods ML

<sup>4</sup> Fertilization of companion crop is ample for this species.

GSWCC 2016 Edition

DESIGNER GSWCC LEVEL II I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION Asato Masuyama Level II Certified Design Professional CERTIFICATION NUMBER 0000083860

ISSUED: 10/01/2021 EXPIRES: 10/01/2024

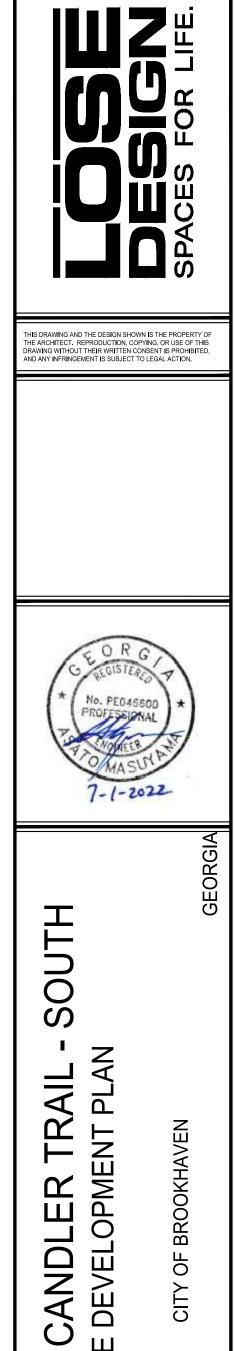
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SCALE N.T.S.

07/01/2022

C3.41	
APPROVED PLAN 09/20/	2023
Permit # LDP22-00012	•



MURPHEY C SITE I

SUBMITTALS / REVISIONS NO. DATE DESCRIPTION

PERMIT DRAWINGS

ESPC DETAILS

PROJECT NO. DATE 21031 07/01/2

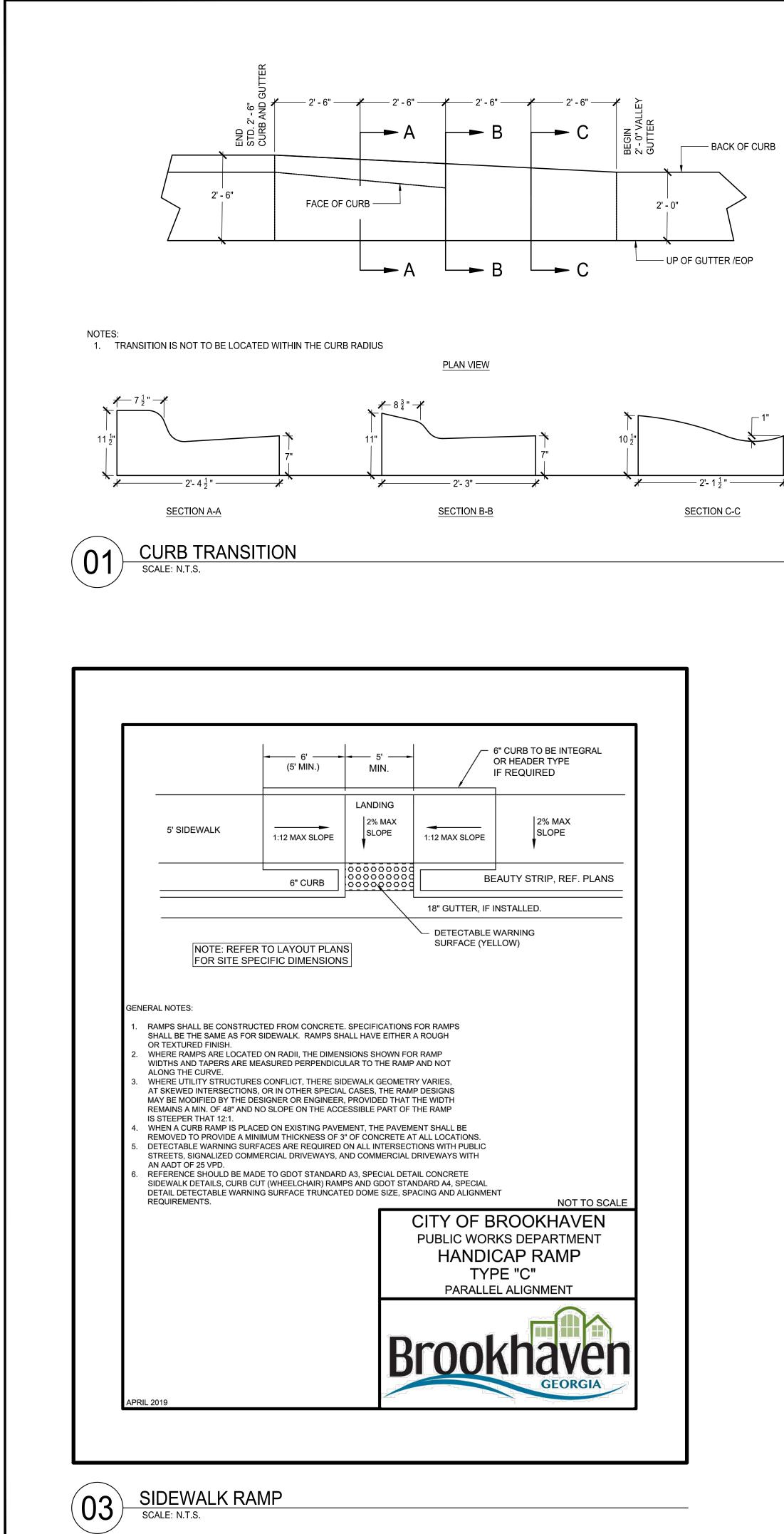
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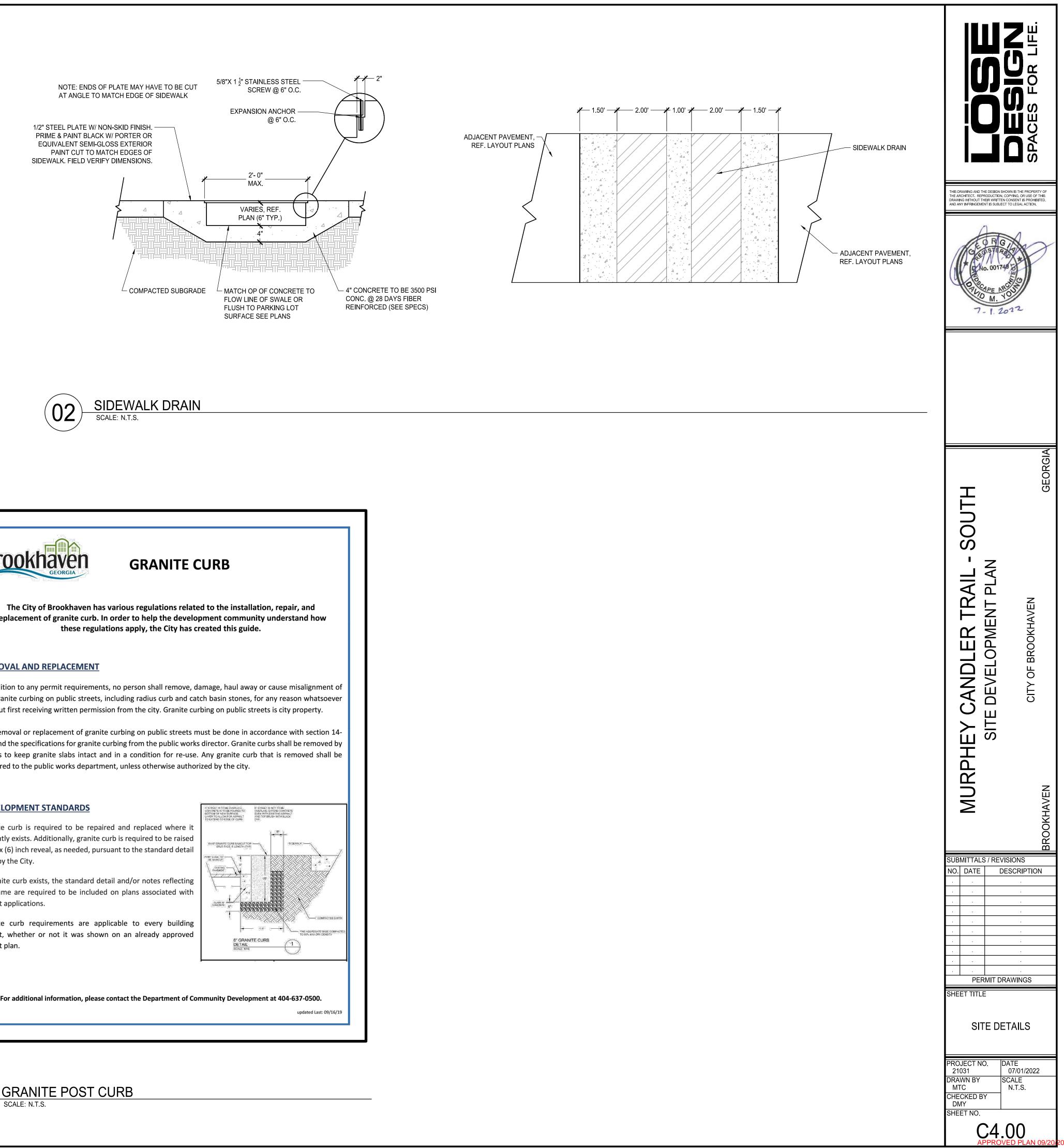
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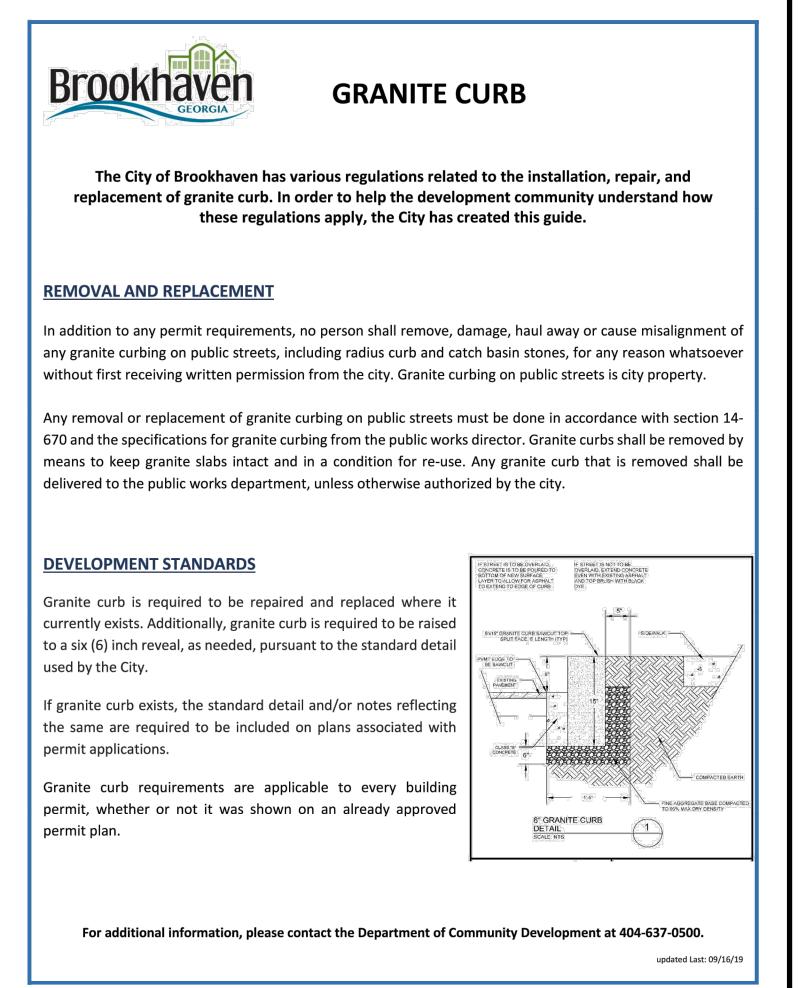
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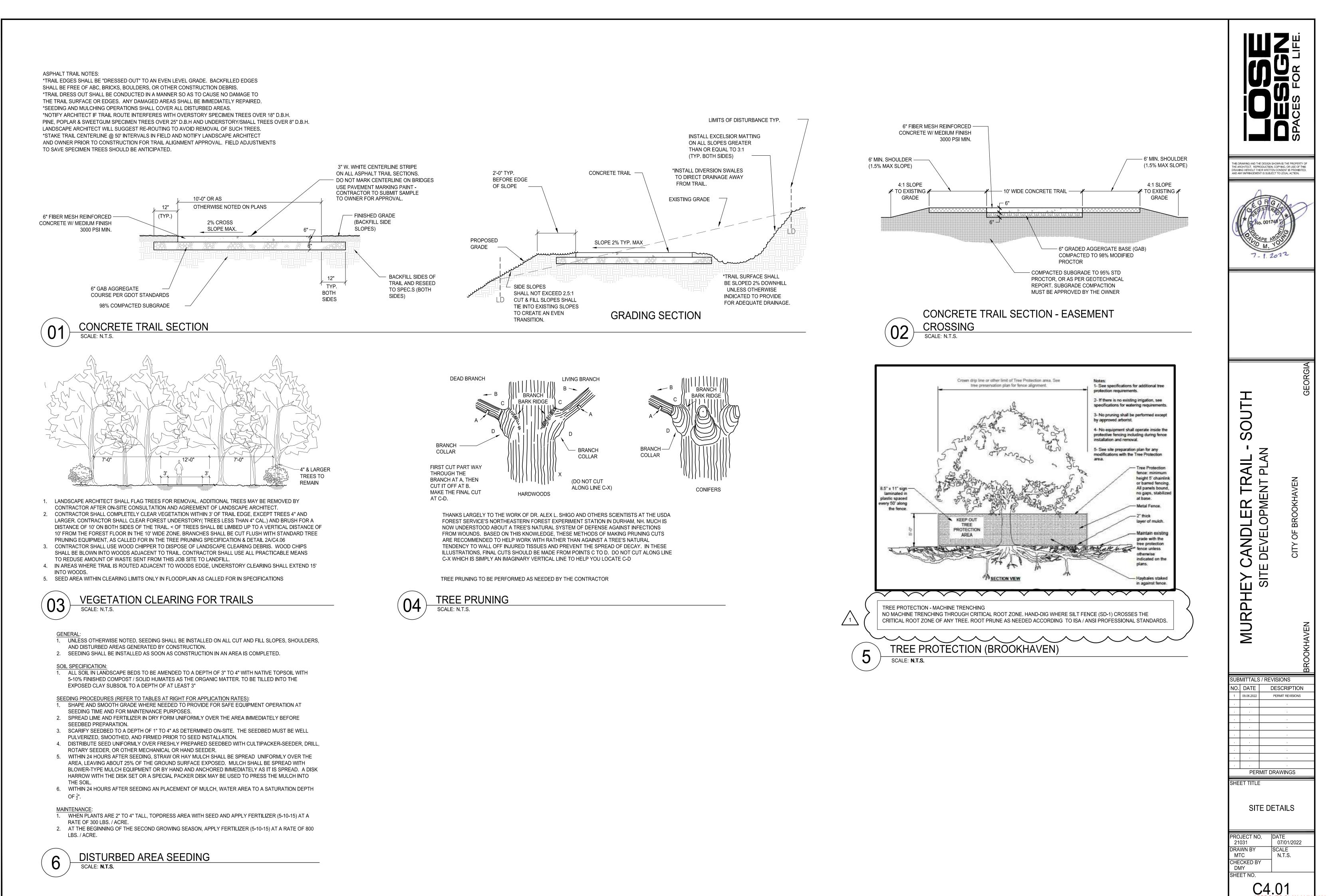


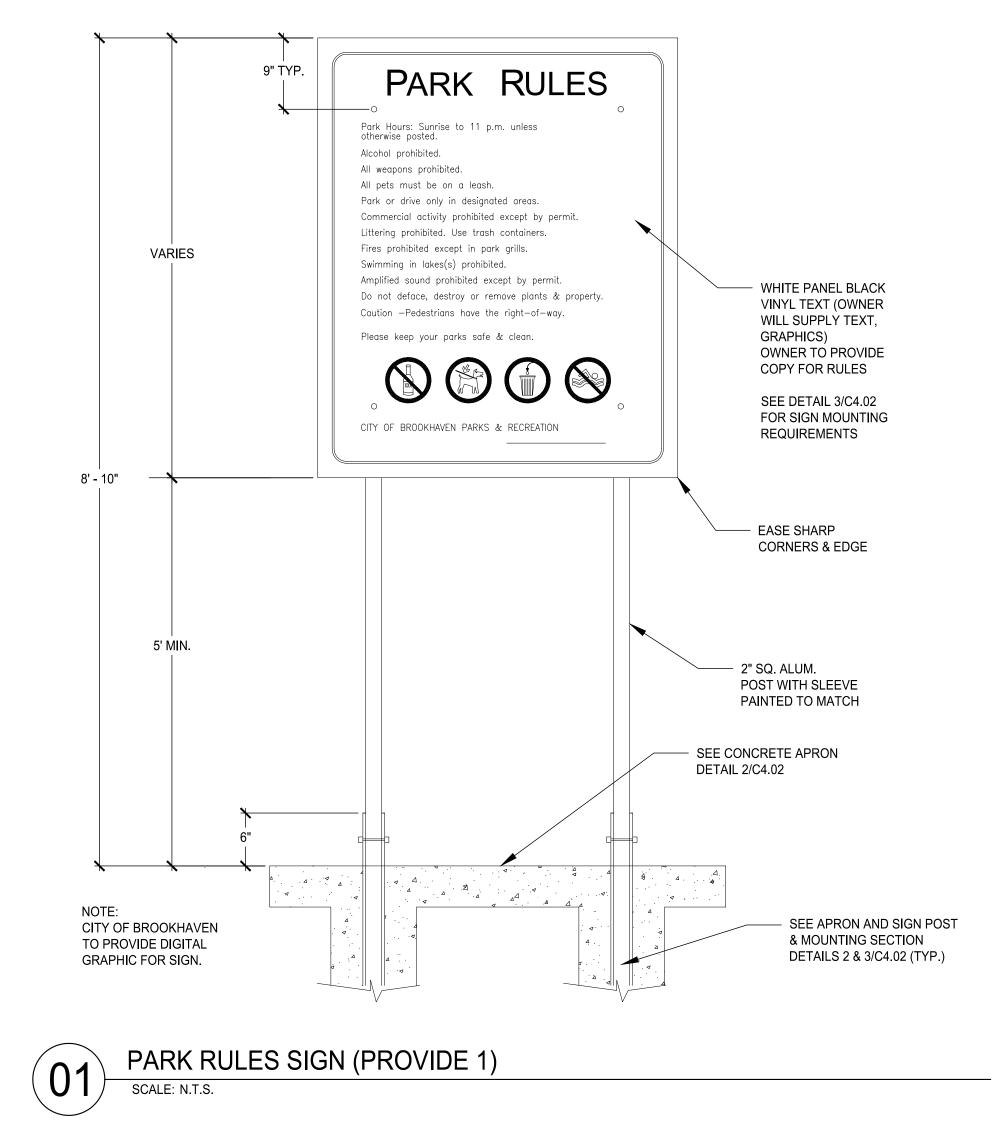


**GRANITE POST CURB** 

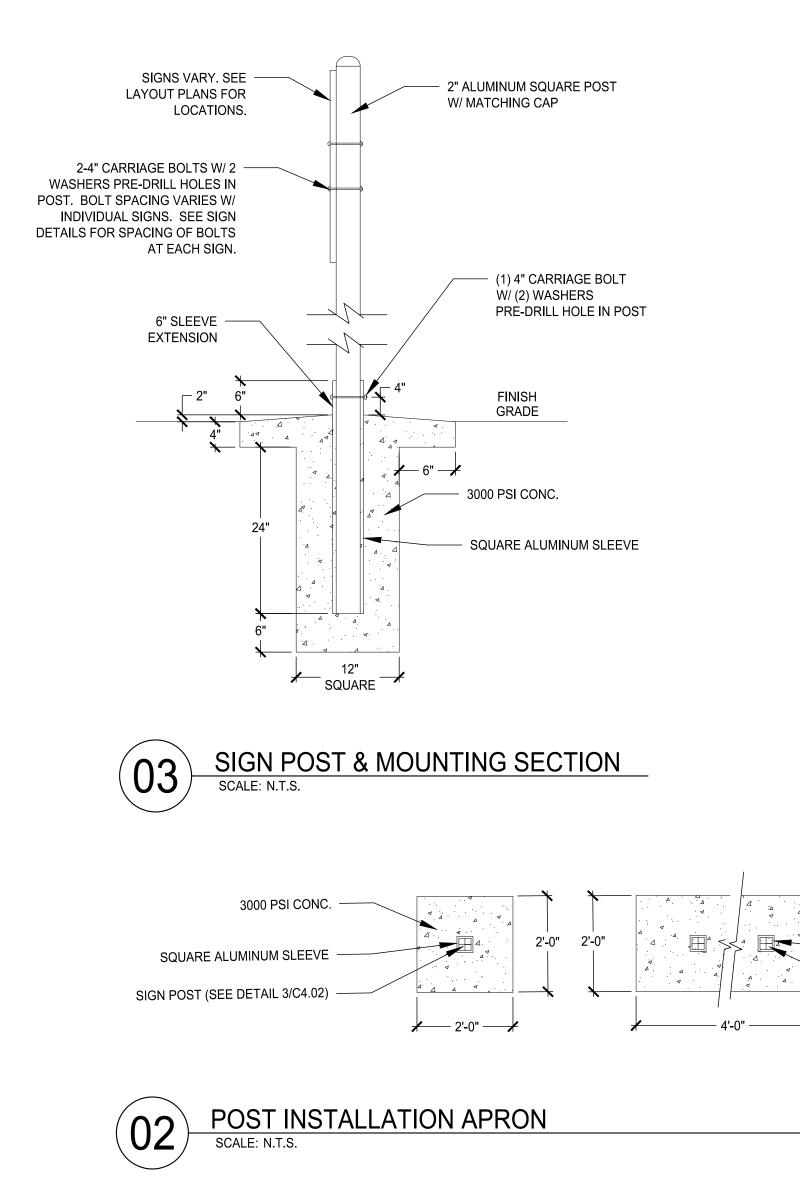
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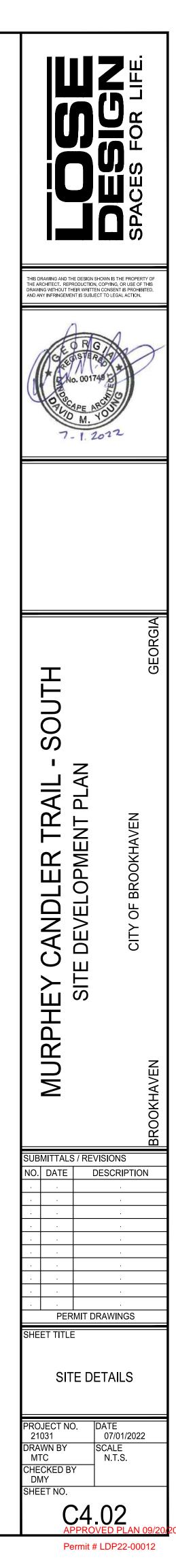
Permit # LDP22-00012





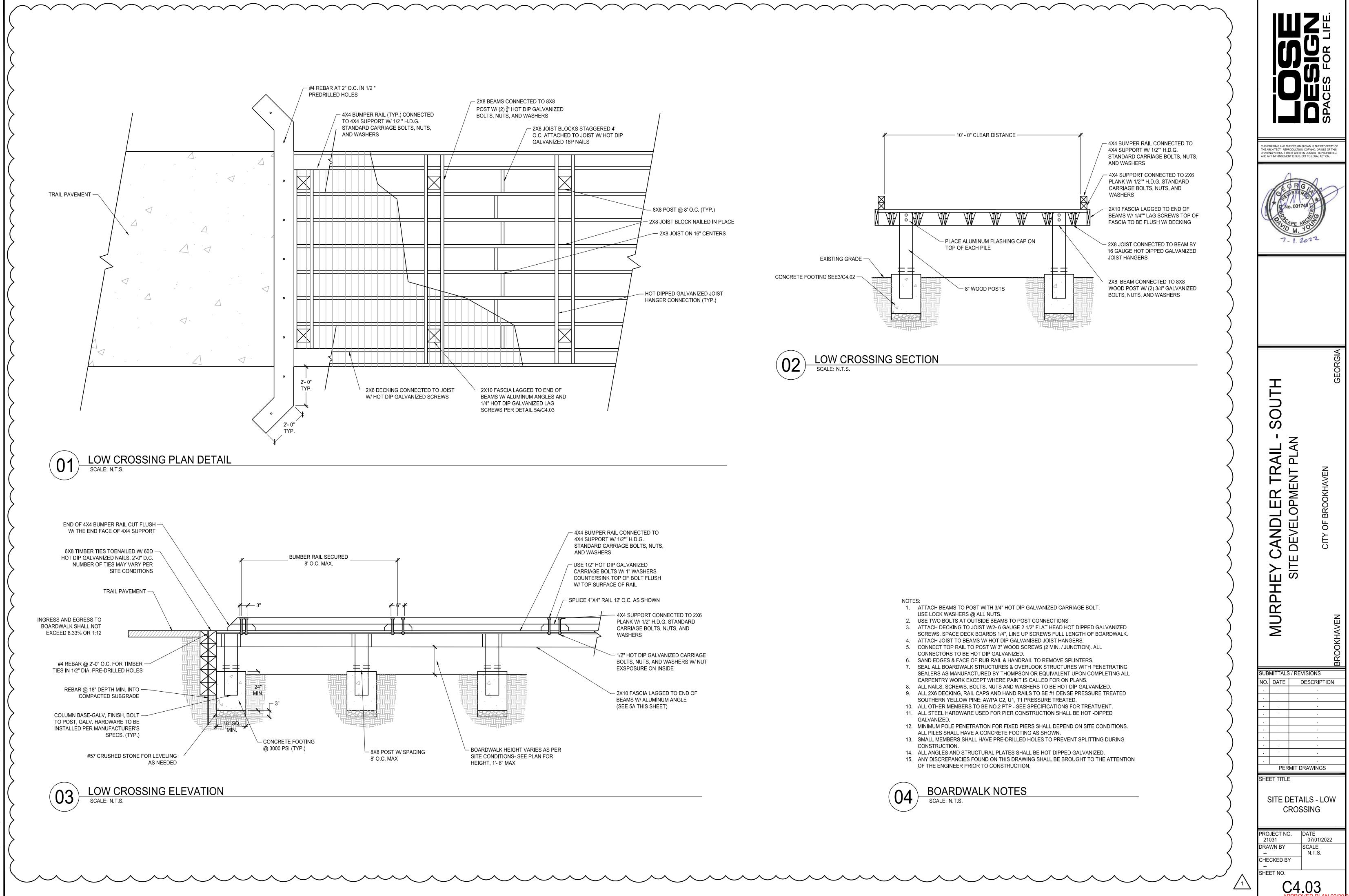






------ 3000 PSI CONC.

——— SIGN POST (SEE DETAIL 3/C4.02)



### STRUCTUAL GENERAL NOTES

DESIGN AND CODE INFORMATION

- 1. All construction shall conform to the 2018 INTERNATIONAL BUILDIN CODE with 2020 GEORGIA STATE AMENDMENTS.
- 2. Verify existing conditions and dimensions. Immediately notify the engineer of record of any conditions which do not comply with plans and specifications. Structural drawings shall be coordinated with the civil drawings.
- Contract documents shall not be reproduced for use as shop drawings.
- 4. The design adequacy of all temporary bracing and shoring is the sole responsibility of the contractor.
- 5. Refer to architectural, mechanical, plumbing, electrical, and civil drawings for locations of miscellaneous items (openings, bent plates, inserts, etc.) affecting structural work.

6. DEAD LOADS

6.1. Boardwalk:

6.1.1. Selfweight 6.1.2. Miscellaneous: 5 psf

6.2. Pedestrian Bridge

6.2.1. Selfweight

7. LIVE LOADS

- 7.1. Bridge: 125 psf 7.2. Boardwalk: 100 psf
- 7.3. Wall surcharge load plazas: 100 psf
- 7.4. Observation platforms:
- 7.5. Boardwalk Handrails (Design & detailing by others): 7.5.1. Uniform Load: 50 plf in any direction 7.5.2. Concentrated Load: 200 lb at any point in any direction

100 psf

8. WIND DATA (per ASCE 7-16):

- 8.1. Basic Wind Speed (3-sec gust): Vult = 106 mph Vasd = 90 mph 8.2. Risk Category: II 8.3. Exposure Category: B
- 9. SEISMIC DATA (per ASCE 7-10): 9.1. Risk Category: II
- 9.2. Importance Factor: I = 1.0
- 9.3. Mapped Spectral Response Accelerations:
- 9.3.1. Ss = 0.198
- 9.3.2.  $S_1 = 0.092$
- 9.4. Site Class: D
- 9.5. Spectral Response Coefficients:
- 9.5.1.  $S_{ds} = 0.211$
- 9.5.2.  $S_{d1} = 0.148$
- 9.6. Seismic Design Category: C
- 9.7. Basic Seismic Force Resisting System
- 9.7.1. Bridges: Inverted Pendulum Structure 9.7.2. Boardwalks: Braced Wood Frames
- 9.8. Response Modification Coefficient:
- 9.8.1. Bridge: R = 2.0
- 9.8.2. Boardwalk: R = 1.5
- 9.9. Seismic Response Coefficient,
- 9.9.1. Bridge: Cs = 0.1408
- 9.9.2. Boardwalk: Cs = 0.1408
- 9.10. Base Shear:
- 9.10.1. Bridge:
- 9.10.1.1. Total = 125.3 kips
- 9.10.1.2. Ea Pier = 23.3 kips, maximum 9.10.2. Boardwalk: 3.38 kips

SPECIAL INSPECTIONS AND TESTING

- Boardwalk: Special Inspections not required.
- Retaining Walls: Inspections not required per local Code
- 3. Pedestrian Bridge: Refer to sheet S3.02 for Special Inspections Requirements

STRUCTURAL OBSERVATIONS

1. The Structural Engineer of Record has not been employed to perform periodic visual observation of the structures during construction for general conformance to the contract design drawings.

FOUNDATION NOTES

	1.	The foundation design is based the following assumptions.
NG	2.	Contractor shall thoroughly read and understand the recommendations

- contained in the geotechnical report prior to start of construction. The report requires remedial work to be done to some areas of the subgrade prior to construction of the structures' foundations.
- 3. Footings are designed to bear on uniform soils capable of supporting 3000 psf. Design assume differential and total settlements are within accepted tolerances for the type of construction used.
- 4. The soil bearing capacity and consistency shall be verified for the foundation limits by a professional geotechnical engineer registered in the project state when the foundation excavations have been carried down to the proposed elevations. The bottom of all footings shall be a minimum of 2'-0'' below finished grade.
  - 5. Where footing excavations are to remain open and may be exposed to rainfall, the excavations shall be undercut and a 3 inch thick mud mat of 2000 psi concrete shall be placed in the bottom to protect the soils.

BOARDWALK BENTS & BRACING DESIGN NOTES:

- 1. All wood shall be pressure treated & rated for ground contact.
- 2. Minimum design loads:
- 2.1. Dead structure selfweight + 5 psf
- 2.2. Live 100 psf 2.3. Wind - Calculated per ASCE 7-10
- 2.4. Seismic Calculated per ASCE 7-10

REINFORCED CONCRETE

- 1. The design of all concrete work shall conform to ACI 318-14 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- 2. Reinforcing steel shall be deformed bars meeting the requirements of ASTM A615, Grade 60.
- 3. The 28-day compressive strength of all cast-in-place concrete shall be:
- 3.1. Boardwalks' footings 3000 psi \_
- 4000 psi 3.2. Bridge abutments, foundations --4000 psi 3.3. Walls, piers, beams
- 3.4. Site concrete see Civil Drawings
- 4. All concrete shall be air-entrained.
- 5. Lap splices for reinforcing bars shall be as follows per ACI 318-11:

BAR SIZE	STD LAP	1.3 x STD LAP
4	24"	32"
5	32"	40"
6	37"	48"
7	54"	70"
8	62"	80"
9	70"	92"

Use Std Lap lengths except when horizontal reinforcing has more than 12" of fresh concrete cast below it, then use 1.3 x Std Lap lengths.

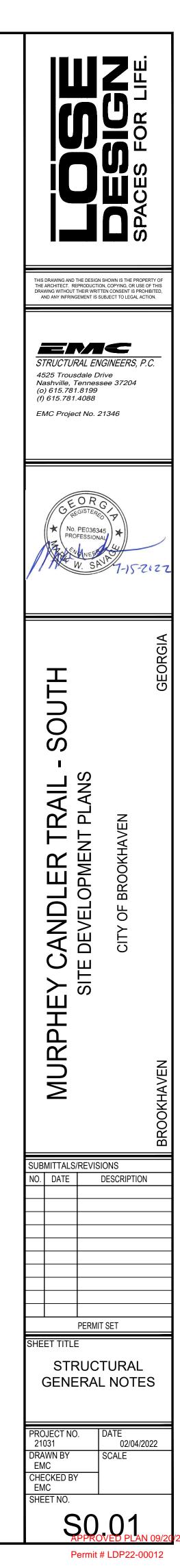
- 2"

- 6. Clear concrete cover for reinforcing steel shall be: 6.1. Footings cast against soil or rock - 3" - 2" 6.2. Footing cast against forms
- 6.3. Walls
- 7. Longitudinal reinforcing in footings and walls shall be continuous around corners.
- 8. Mechanical vibrators shall be used to vibrate all concrete.
- 9. Chamfer exposed corners of walls  $\frac{3}{4}$ ".
- 10. Exposed faces of bridge abutment walls shall be formed with form liners as specified by the owner.
- 11. Concrete shall be sampled and tested in accordance with project specifications. A copy of all concrete compressive strength tests

reports shall be kept at the job site at all times for review by the inspector.

### LUMBER FRAMING

- 1. All framing members shall be Southern Yellow Pine, 19% moisture content unless otherwise noted, and the following grades: 1.1. 2x members: No. 2 1.2. 4x6, 6x6 members: Select Structural
- 2. All framing members shall be pressure treated, rated for ground contact.
- 3. All metal connectors shall be manufactured by Simpson Strong-Tie, Inc, or equivalent.
- 4. All screws used in wood connections shall be 'SDWS' screws as manufactured by Simpson Strong-Tie.
- 5. All bolts shall meet the requirements oF ASTM A307 or F1554.
- 6. All metal connectors, screws, bolts, nuts, washers, etc., shall be hot dipped galvanized. All Simpson products shall be either hot dipped galvanized or have a Z-MAX coating.



# STRUCTURAL SPECIAL INSPECTION SCHEDULES - PEDESTRIAN BRIDGE:

	SPECIAL INSPECTION SCHEDULE: FABRICATORS			
	VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS	FREQUENCY	
	VENTION AND INSPECTION TASK	PROJECT?	CONTINUOUS	PERIODIC
1.	VERIFY FABRICATION AND IMPLEMENTATION PROCEDURES:			
	A. STEEL CONSTRUCTION - BRIDGES	N		
	B. CONCRETE CONSTRUCTION (INCLUDING REBAR FABRICATION)	N		
	C. WOOD CONSTRUCTION	N		
	D. COLD-FORMED METAL CONSTRUCTION	N		
	E. OTHER CONSTRUCTION	N		

SPECIAL INSPECTION SCHEDULE: SOILS				
	VERIFICATION AND INSPECTION TASK	APPLICABLE TO THIS	FREQUENCY	
	VENTION AND INSPECTION TASK	PROJECT?	CONTINUOUS	PERIODIC
1.	VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	Y		X
2.	VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	Y		Х
3.	PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS	Y		Х
4.	VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	Y	х	
5.	PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	Y		x
		-		-

## SPECIAL INSPECTION SCHEDULE: CAST-IN-PLACE FOUNDATION ELEMENTS

VERIFICATION AND IN

SPECIAL INSPECTIONS AND VER FOUNDATION CONSTRUCTION IN SPECIAL INSPECTION SCHEDULE A. ISOLATED SPREAD CONCRE B. CONTINUOUS CONCRETE FO C. CONCRETE FOUNDATION WA

THE STATEMENT OF SPECIAL INSPECTION IS SUBMITTED AS A CONDITION FOR PERMIT ISSUANCE IN ACCORDANCE WITH THE SPECIAL INSPECTION AND STRUCTURAL TESTING REQUIREMENTS OF THE BUILDING CODE. IT INCLUDES A SCHEDULE OF SPECIAL INSPECTION SERVICES APPLICABLE TO THIS PROJECT.

THE SPECIAL INSPECTOR SHALL KEEP RECORDS OF ALL INSPECTIONS AND SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROCESSIONAL IN RESPONSIBLE CHARGE. DISCOVERED DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF SUCH DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. THE SPECIAL INSPECTION PROGRAM DOES NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITIES.

INTERIM REPORTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE.

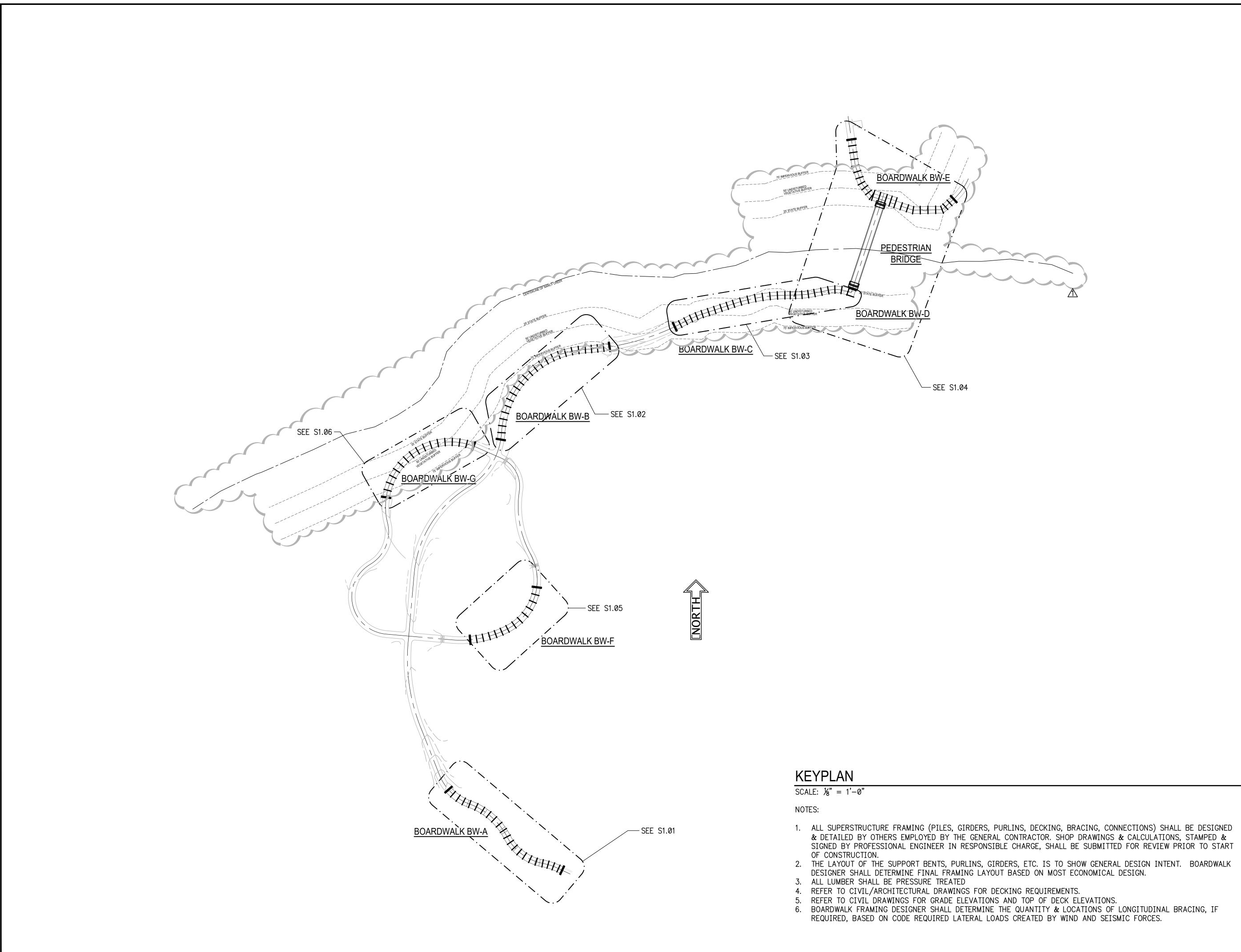
A FINAL REPORT OF SPECIAL INSPECTIONS DOCUMENTING COMPLETION OF ALL REQUIRED SPECIAL INSPECTION, TESTING, AND CORRECTION OF AN DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY. JOB SITE SAFETY AND MEAN AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.

NSPECTION TASK	APPLICABLE TO THIS	FREQUENCY		
	PROJECT?	CONTINUOUS	PERIODIC	
ERIFICATIONS FOR CONCRETE IN ACCORDANCE WITH THE LE				
ETE FOOTINGS	Y		Х	
OOTINGS SUPPORTING WALLS	Y		X	
IALLS	Y		Х	

### SPECIAL INSPECTION SCHEDULE: CONCRETE CONSTRUCTION

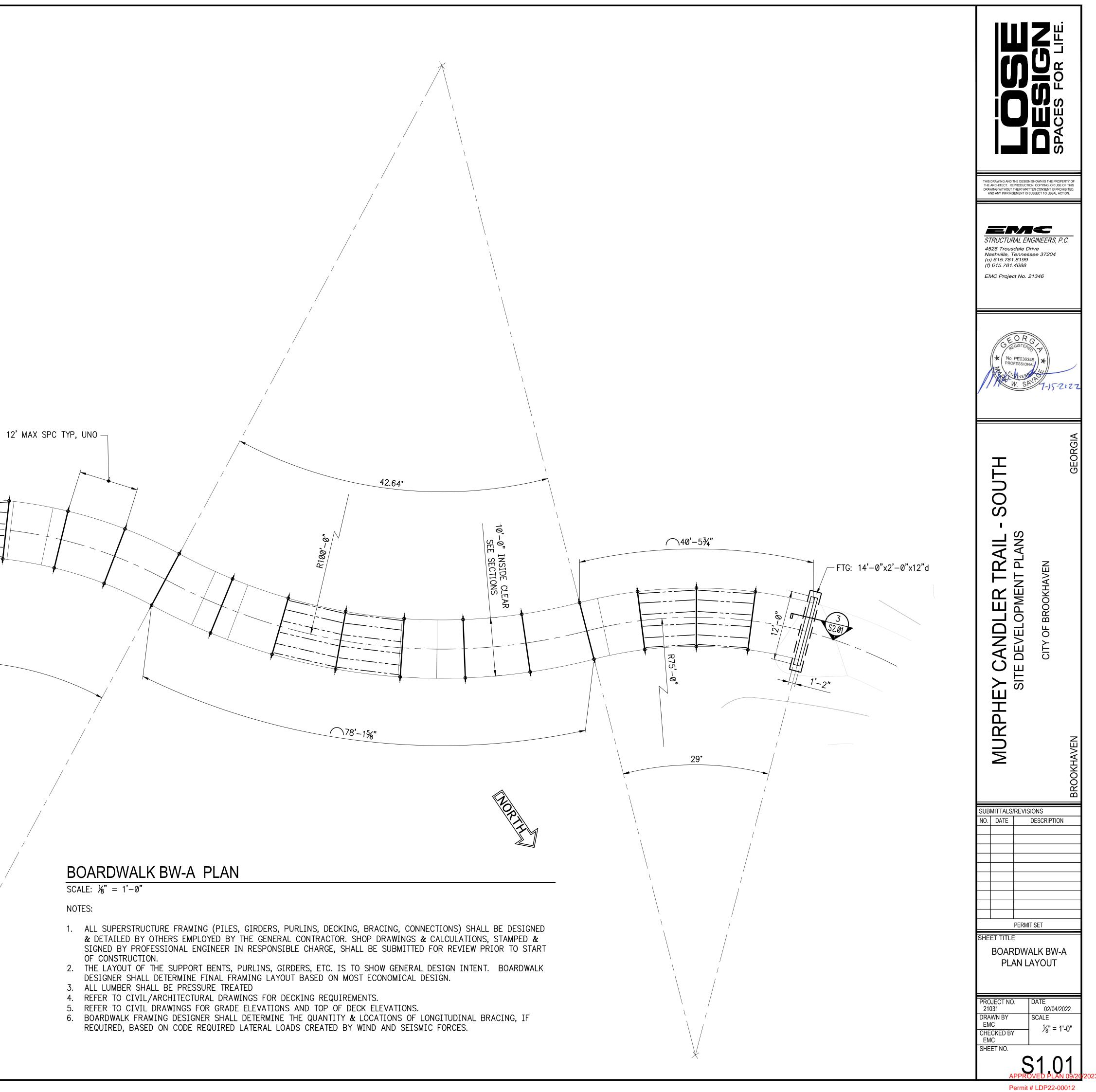
	VERIFICATION AND INSPECTION TASK	APPLICABLE	FREQUENCY	
	VERIFICATION AND INSPECTION TASK	TO THIS PROJECT?	CONTINUOUS	PERIODIC
1.	INSPECTION OF REINFORCING STEEL, INCLUDING PLACEMENT.	Y	x	
2.	INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH THE SPECIAL INSPECTION SCHEDULE: STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL, ITEM 3.	N		
3.	INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED.	Y		x
4.	INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.	Y		Х
5.	VERIFYING USE OF REQUIRED DESIGN MIX.	Y		Х
6.	AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	Y	X	
7.	INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	Y		х
8.	INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	Y		Х
9.	INSPECTION OF PRESTRESSED CONCRETE:			
	A. APPLICATION OF PRESTRESSING FORCES	Ν		
	B. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM.	N		
10.	ERECTION OF PRECAST CONCRETE MEMBERS.	Y	Х	
11.	VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	Ν		
12.	INSPECT FORMWORK FOR SHAPE, LOCATIONS AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	Y	x	

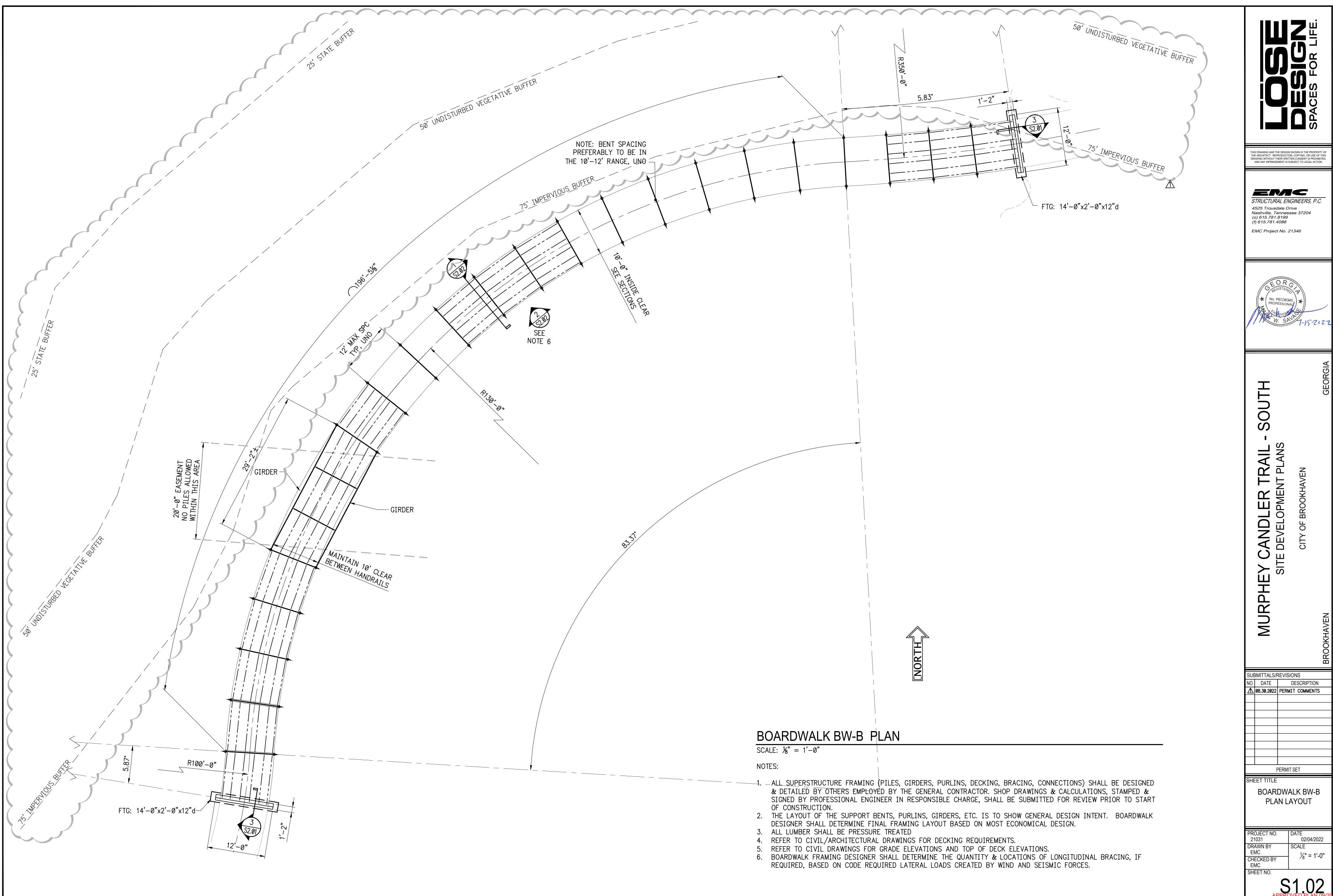
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STRUCTURAL EL 4525 Trousdale L Nashville, Tenne (o) 615.781.8199 (f) 615.781.4088 EMC Project No.	NGINEERS, P.C. Drive ssee 37204	
GEOR REGISTER NO. PEO36 PROFESSION VOINER W. S	G 7 345 NAL 4 AVIA 7-15-2:22	
MURPHEY CANDLER TRAIL - SOUTH SITE DEVELOPMENT PLANS	BROOKHAVEN CITY OF BROOKHAVEN GEORGIA	
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		/2023
AFFN	t # LDP22-00012	-020

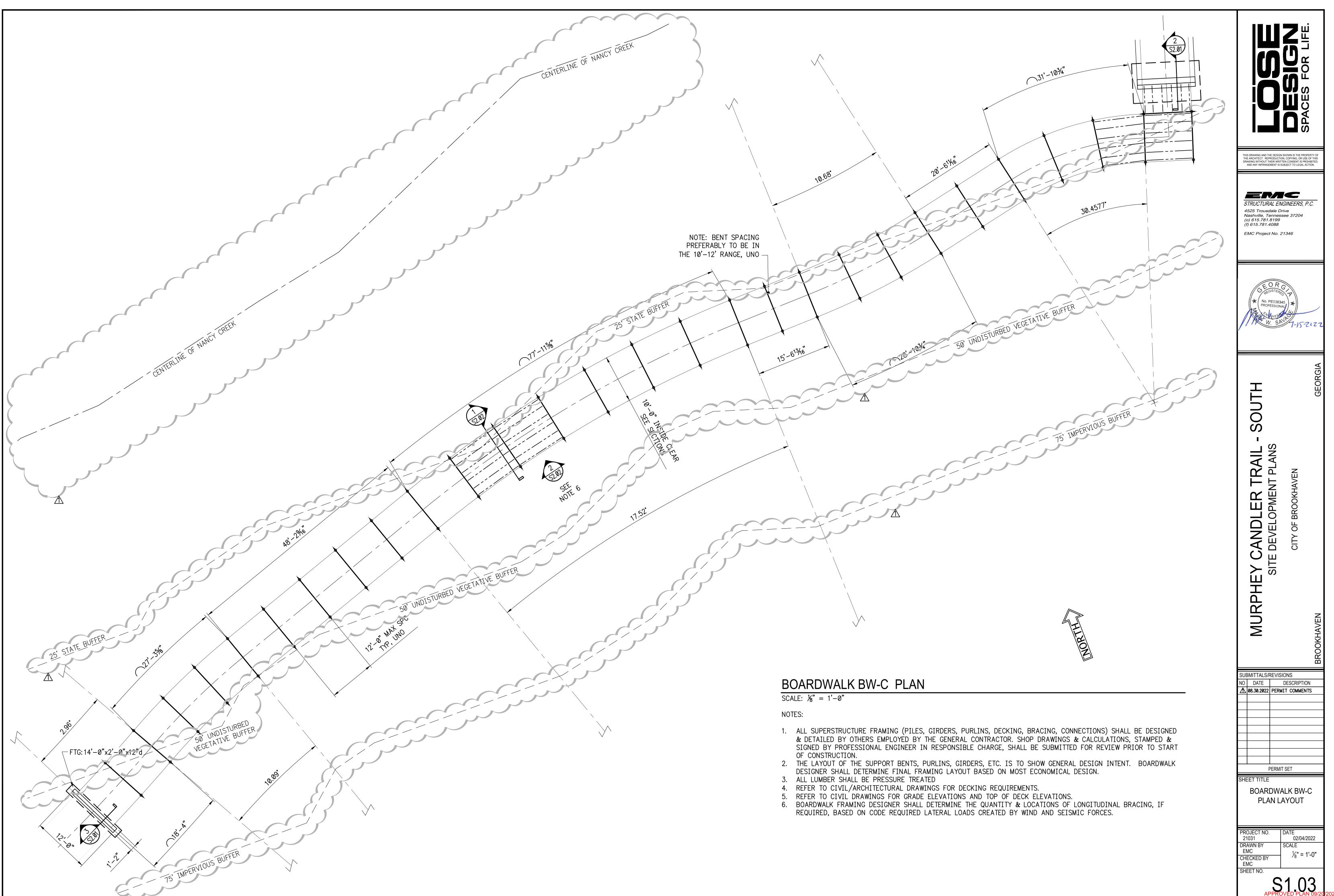


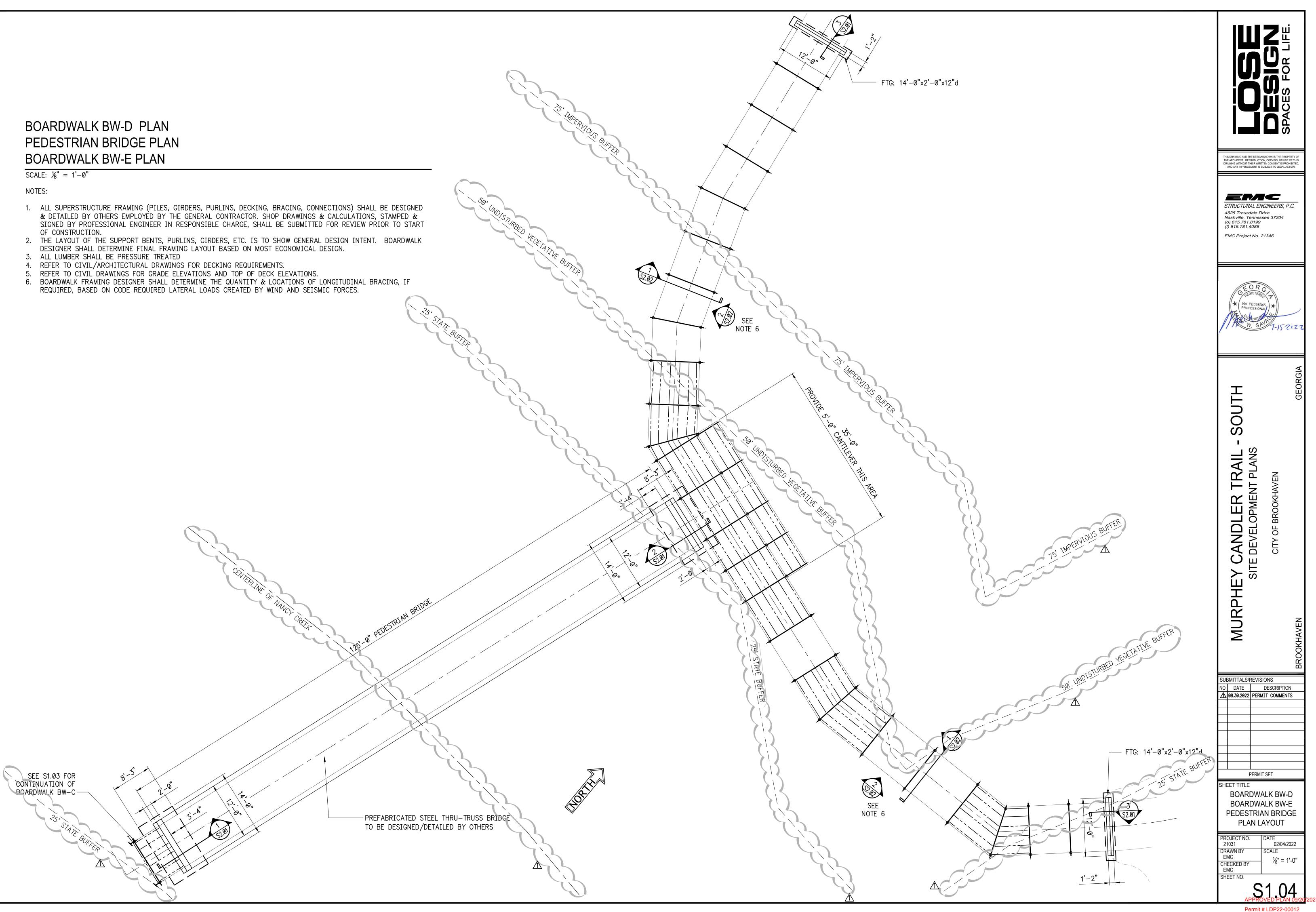
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STRUCTURAL ENGINEERS, P.C. 4525 Trousdale Drive Nashville, Tennessee 37204 (o) 615.781.8199 (f) 615.781.4088 EMC Project No. 21346			
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DUTH			
MURPHEY CANDLER TRAIL - SOU SITE DEVELOPMENT PLANS CITY OF BROOKHAVEN			
SUBMITTALS/REVISIONS NO DATE DESCRIPTION 108.30.2022 PERMIT COMMENTS			
▲ 08.30.2022 PERMIT COMMENTS	-		
PERMIT SET			
SHEET TITLE KEYPLAN			
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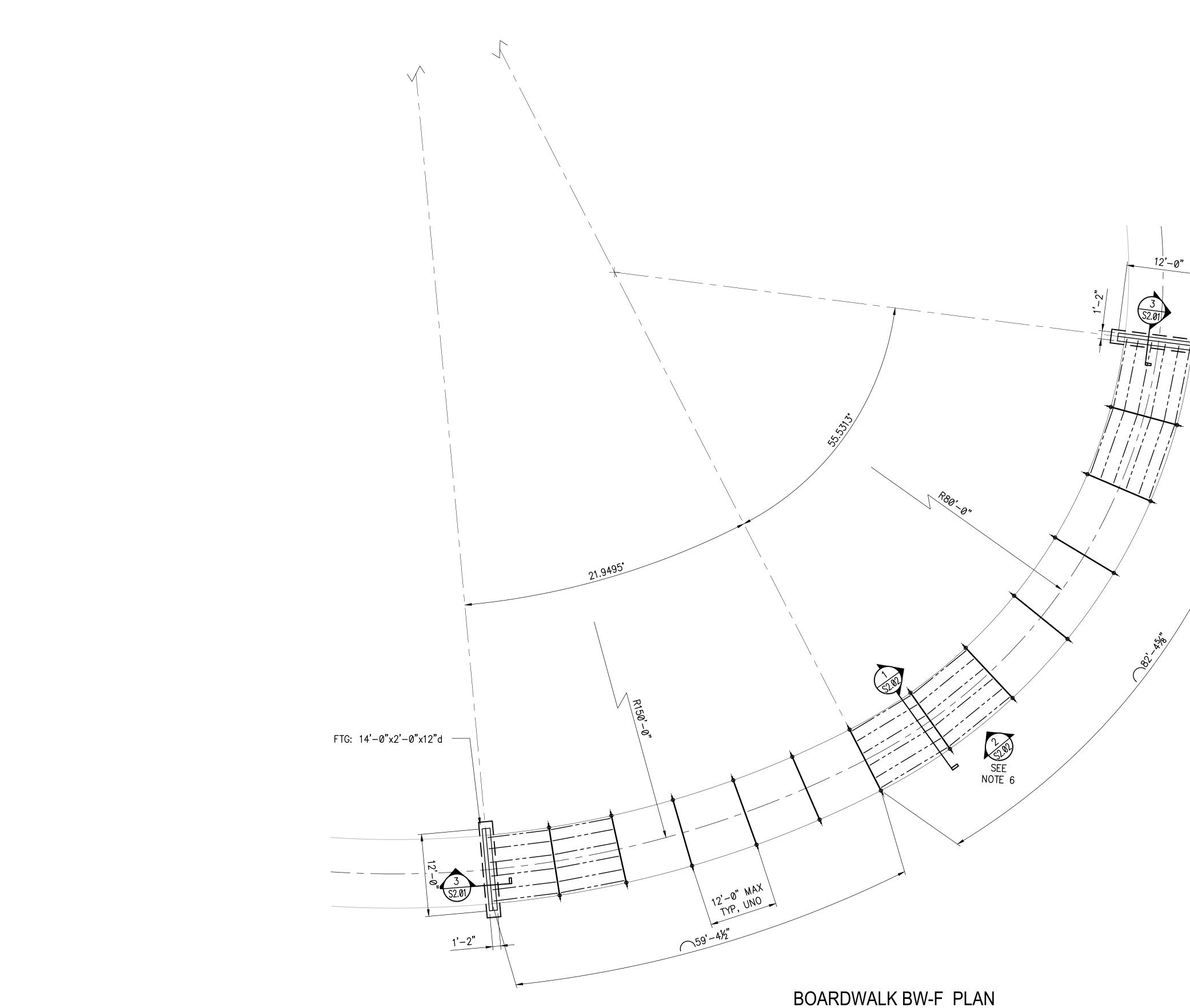
14.03 \_\_\_\_ K100 \_ \_ \_ \_ \_ \_ \_ . \_\_\_\_ \_ \_ \_ \_ \_ \_ \_\_\_\_ R75 2 S2.02 SEE NOTE 6 3 52.01 51.31° FTG: 14'-0"x2'-0"x12"d-6'-0"







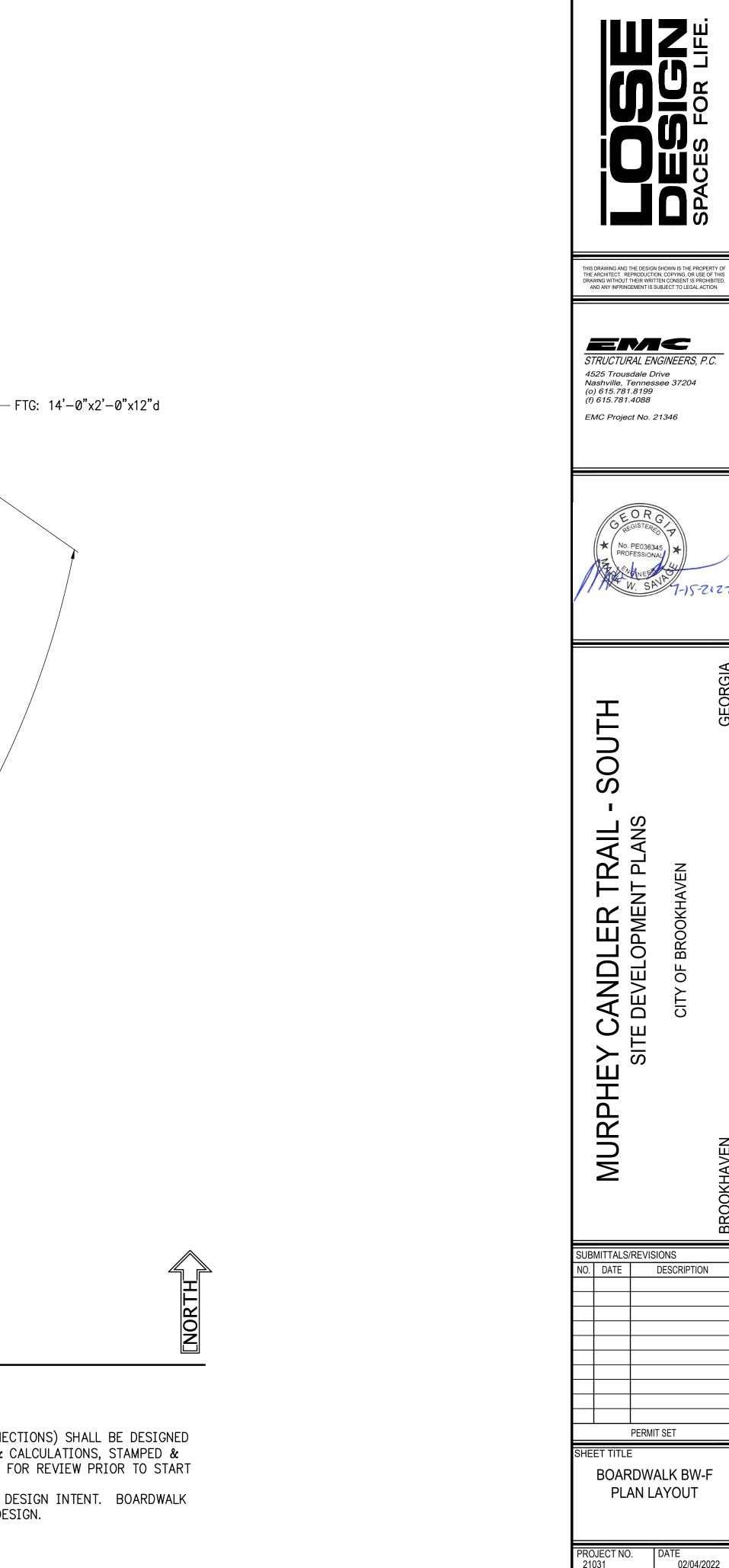




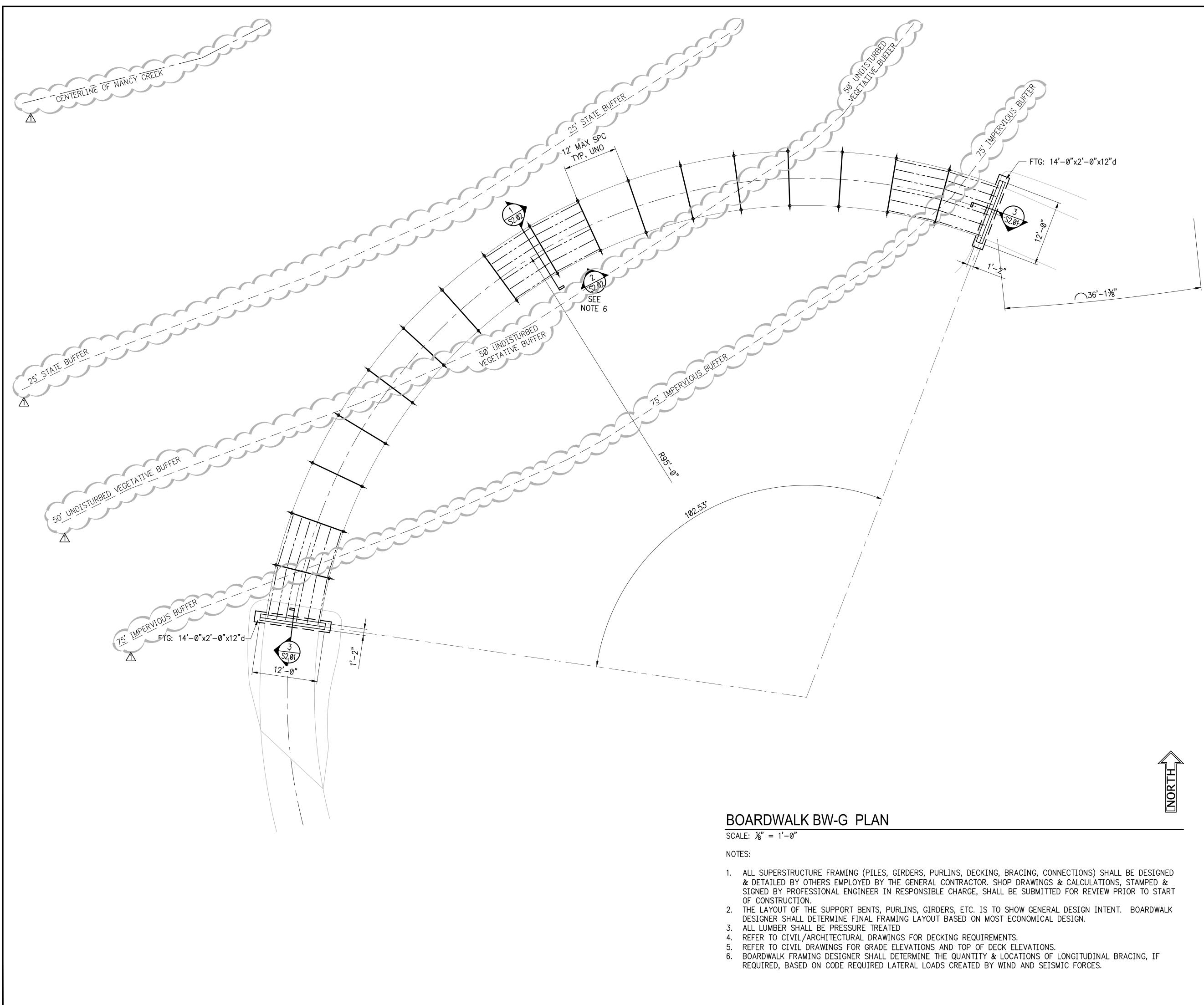
# SCALE: $\frac{1}{8}^{"} = 1' - 0"$

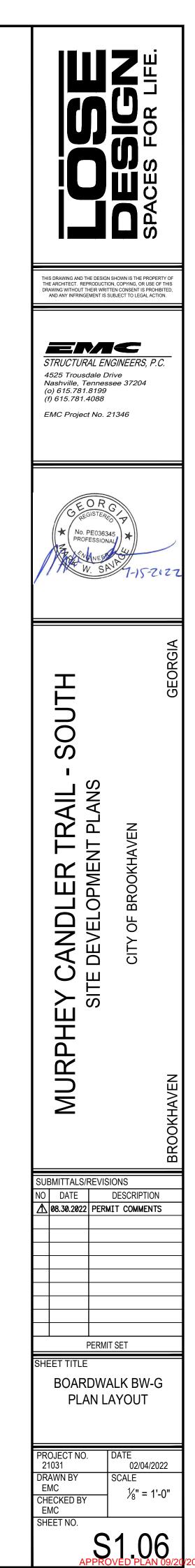
NOTES:

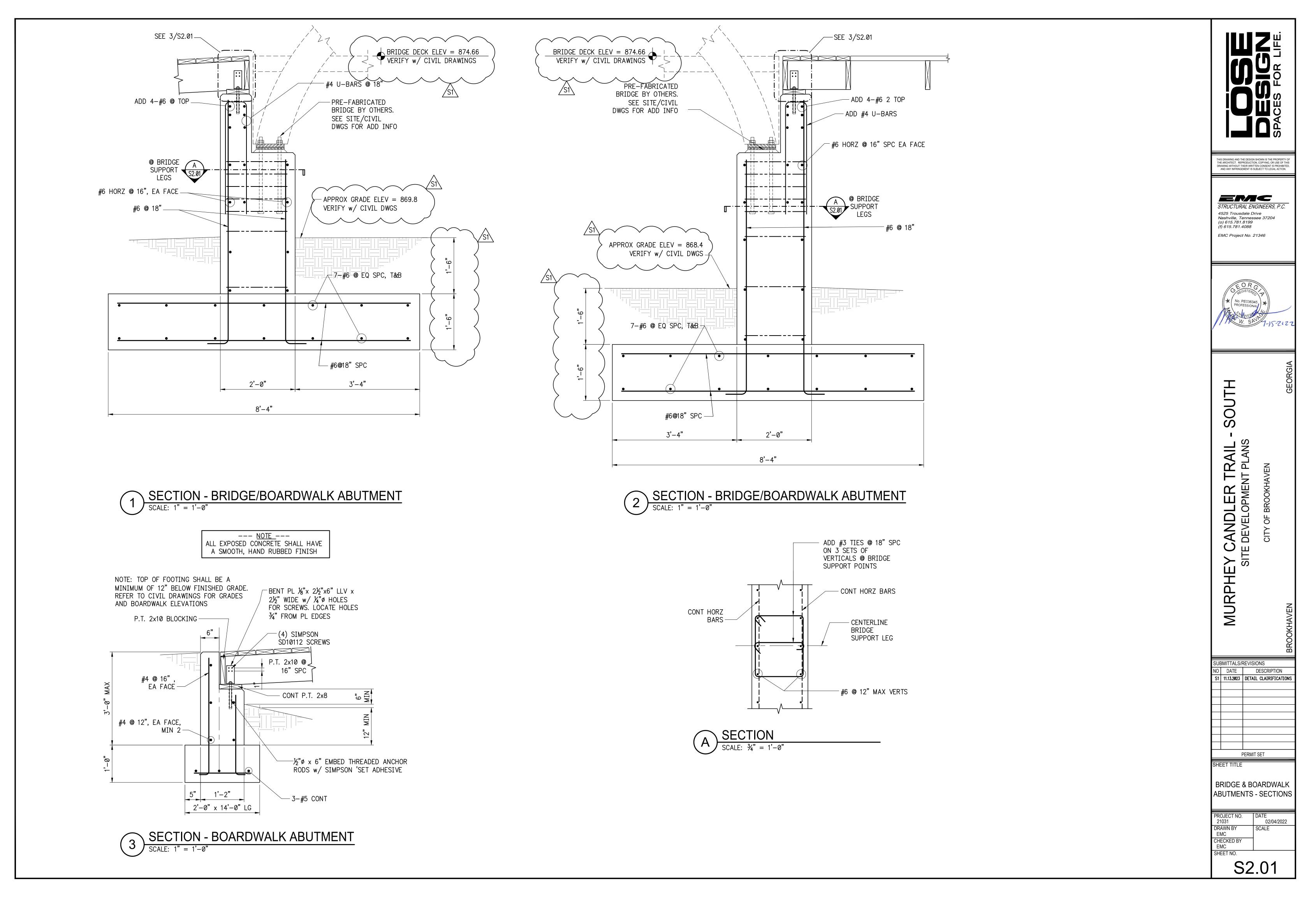
- ALL SUPERSTRUCTURE FRAMING (PILES, GIRDERS, PURLINS, DECKING, BRACING, CONNECTIONS) SHALL BE DESIGNED
   & DETAILED BY OTHERS EMPLOYED BY THE GENERAL CONTRACTOR. SHOP DRAWINGS & CALCULATIONS, STAMPED & SIGNED BY PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, SHALL BE SUBMITTED FOR REVIEW PRIOR TO START OF CONSTRUCTION.
- 2. THE LAYOUT OF THE SUPPORT BENTS, PURLINS, GIRDERS, ETC. IS TO SHOW GENERAL DESIGN INTENT. BOARDWALK DESIGNER SHALL DETERMINE FINAL FRAMING LAYOUT BASED ON MOST ECONOMICAL DESIGN.
- 3. ALL LUMBER SHALL BE PRESSURE TREATED
- ALL LOWBER STALL DE TRESSORT MEATED
   REFER TO CIVIL/ARCHITECTURAL DRAWINGS FOR DECKING REQUIREMENTS.
   REFER TO CIVIL DRAWINGS FOR GRADE ELEVATIONS AND TOP OF DECK ELEVATIONS.
   BOARDWALK FRAMING DESIGNER SHALL DETERMINE THE QUANTITY & LOCATIONS OF LONGITUDINAL BRACING, IF REQUIRED, BASED ON CODE REQUIRED LATERAL LOADS CREATED BY WIND AND SEISMIC FORCES.

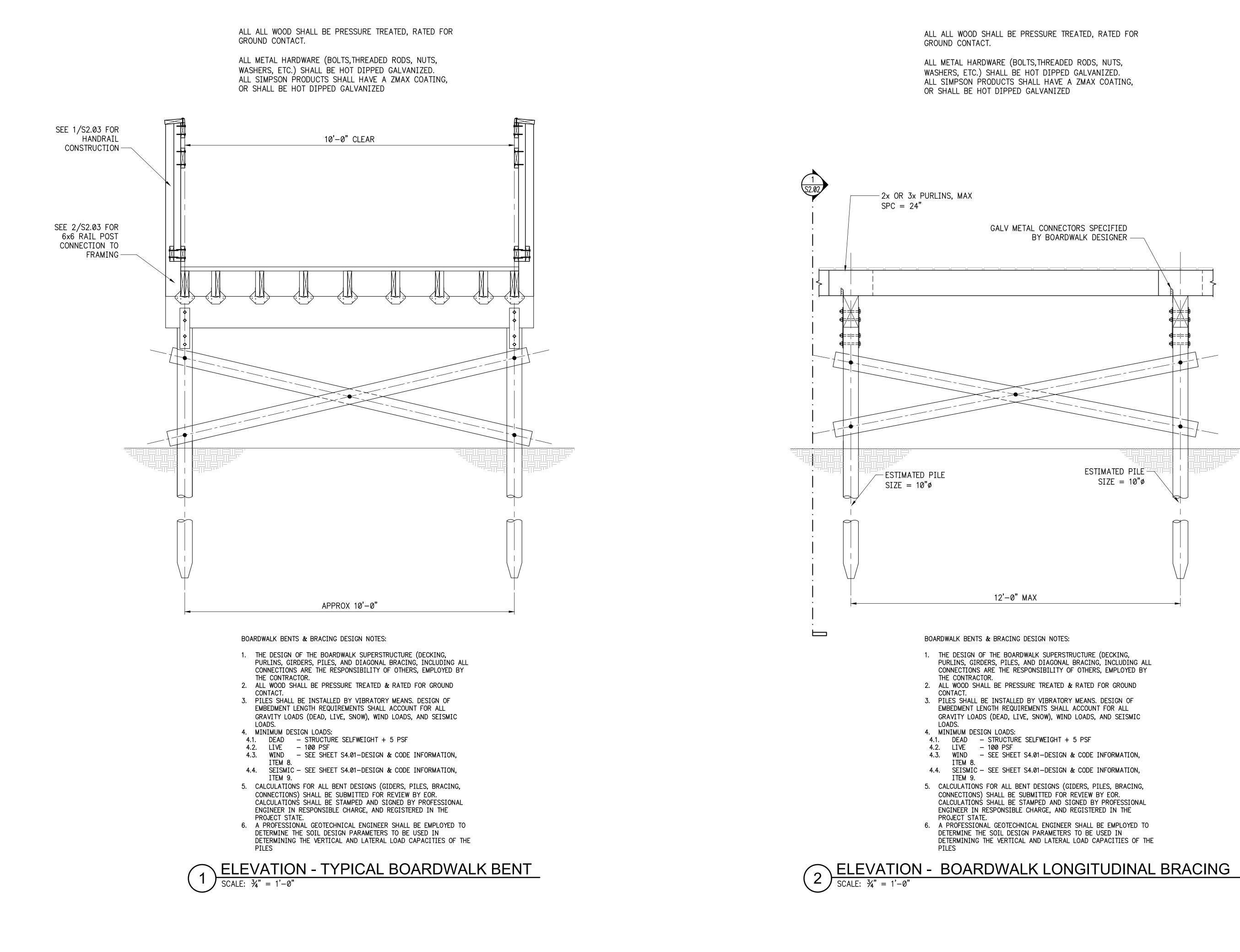


PROJECT NO. 21031 DRAWN BY EMC CHECKED BY EMC SHEET NO. 02/04/2022 SCALE ½" = 1'-0" S1.05









SOUTH **TRAIL** ENT PLANS 7 CANDLER BR ЫO CITY S Ш SIT  $\succ$ MURPHE SUBMITTALS/REVISIONS NO. DATE DESCRIPTION A1 03.05.2021 ADDENDUM NO. 1 PERMIT SET SHEET TITLE BOARDWALKS SECTIONS AND DETAILS PROJECT NO. DATE 02/04/2022 21031 DRAWN BY SCALE EMC CHECKED BY EMC SHEET NO. S2.02 Permit # LDP22-00012

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EMC Project No. 21346

STRUCTURAL ENGINEERS, P.C.

